



Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Margaret & David Moloney,
c/o Shane Fenton MRIAI,
Wain Morehead Architects Ltd.,
Pembroke House,
Pembroke Street,
Cork T12 WY7P.

16/02/2023

**RE: Section 5 Declaration R757/23 42 Foxwood, Garryduff,
Rochestown, Cork**

A Chara,

With reference to your request for a Section 5 Declaration at the above-named property, received on 20th January 2023, I wish to advise as follows:

The Planning Authority, having regard to:

- The particulars received by the Planning Authority on 20/01/2023,
- Sections 2, 3 and 4 of the Planning and Development Act 2000 as amended, and
- The provision of Schedule 2, Part 1, Class 1 of the Planning and Development Regulations 2001 (as amended),

The Planning Authority considers that the *construction of a single storey extension to the rear* of 42 Foxwood, Garryduff, Rochestown, Cork is **DEVELOPMENT** and is **EXEMPTED DEVELOPMENT**.

Under Section 5(3)(a) of the Planning and Development Act, 2000, you may, on payment of the appropriate fee, refer this declaration for review by An Bord Pleanála within 4 weeks of the date it is issued, 16th February 2023.

Is mise le meas,

Kate Magner
Development Management Section
Community, Culture and Placemaking Directorate
Cork City Council



We are Cork.

PLANNER'S REPORT Ref. R758/23	Cork City Council Development Management Strategic Planning and Economic Development
Application type	Section 5 Declaration
Description	<i>Is the construction of a 34 sq.m rear extension to the east of 42 Foxwood, Garryduff, Rochestown, Cork T12 A0ET development, and if so, is it exempted development?</i>
Location	42 Foxwood, Garryduff, Rochestown, Cork T12 A0ET
Applicant	Margaret and David Moloney
Date	16/02/2023
Recommendation	IS DEVELOPMENT and IS EXEMPTED DEVELOPMENT.

In this report 'the Act' means the Planning and Development Act 2000 (as amended) and 'the Regulations' means the Planning and Development Regulations 2001 (as amended), unless otherwise indicated.

1. Requirements for a Section 5 Declaration

Section 5(1) of the Planning and Development Act 2000 as amended states,

5.—(1) If any question arises as to what, in any particular case, is or is not development or is or is not exempted development within the meaning of this Act, any person may, on payment of the prescribed fee, request in writing from the relevant planning authority a declaration on that question, and that person shall provide to the planning authority any information necessary to enable the authority to make its decision on the matter.

The requirements for making a section 5 declaration are set out in the Act.

2. The Question before the Planning Authority

In response to Q2 on the application form, the applicant frames the following question:

"Is the construction of a 34 sq.m rear extension to the east of 42 Foxwood, Garryduff, Rochestown, Cork T12 AOET development, and if so, is it exempted development?"

In my opinion, and having reviewed the proposed drawings, it is considered that the question before the planning authority is clear.

3. Site Description

The property in question is a two-storey semidetached house located within an estate of similar houses in Garryduff. The house benefits from an existing addition at rear ground floor level which appears to have formed part of the original construction and was not a later addition. There is also a shed present in the rear garden which would be removed as part of the proposed works.

4. Planning History

None

5. Legislative Provisions

5.1 The Act

Section 2(1),

"works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 3(1),

In this Act, "development" means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or 'the making of any material change in the use of any structures or other land'

Section 4(2),

Section 4(2) provides that the Minister may, by regulations, provide for any class of development to be exempted development. The principal regulations made under this provision are the Planning and Development Regulations 2001-2013.

Section 5(1),
(See section 1 of this report)

Section 177U (9) (screening for appropriate assessment)

In deciding upon a declaration or a referral under section 5 of this Act a planning authority or the Board, as the case may be, shall where appropriate, conduct a screening for appropriate assessment in accordance with the provisions of this section.

5.2 The Regulations

Article 6 (1)

Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.

SCHEDULE 2, ARTICLE 6, PART 1, Exempted Development — General

Column 1 Description of Development	Column 2 Conditions and Limitations
<p><i>Development within the curtilage of a house</i> CLASS 1 The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house.</p>	<p>1. (a) Where the house has not been extended previously, the floor area of any such extension shall not exceed 40 square metres. (b) Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres. (c) Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.</p> <p>2. (a) Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 40 square metres. (b) Subject to paragraph (a), where the house is terraced or semi-detached and has been extended previously, the floor area of any extension above ground level taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres. (c) Subject to paragraph (a), where the house is detached and has been extended previously, the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 20 square metres.</p> <p>3. Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.</p>

	<p>4. (a) Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.</p> <p>(b) Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.</p> <p>(c) The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.</p>
	<p>5. The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.</p>
	<p>6. (a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.</p> <p>(b) Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces.</p> <p>(c) Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 11 metres from the boundary it faces.</p>
	<p>7. The roof of any extension shall not be used as a balcony or roof garden.</p>

6. ASSESSMENT

6.1 Development

The first issue for consideration is whether or not the matter at hand is 'development'.

'Development' as defined in the Act (3)(1) comprises two possible chief components: *'the carrying out of any works on, in, over or under land', or 'the making of any material change in the use of any structures or other land'*. In order to ascertain whether or not the subject use is considered to be development as so defined, consideration must first be given to whether any works on, in, over or under land have or will be carried out, and secondly to whether any material change in the use of any structures or other land have or will take place.

'Works' is defined in section 2(1) of the Act as *'the carrying out of any works on, in, over, or under land' including 'any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal, and in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.'*

It is considered that the erection of a rear extension constitutes the carrying out of works and as such it constitutes development.

6.2 Exempted development

The next issue for consideration is whether or not the matter at hand is exempted development.

The rear extension as constructed may be exempt if it accords with the exemption set out in Class 1 in Schedule 2 of the *Planning and Development Regulations 2001* (as amended). The following is a review of the proposal against the conditions / limitations set out in Class 1.

<p>1. (a) Where the house has not been extended previously, the floor area of any such extension shall not exceed 40 square metres.</p> <p>(b) Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres.</p> <p>(c) Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.</p>	<p>(a) The house has not already been extended at ground floor. It is noted that 2.64 sqm of the existing original rear protruding element will be incorporated into the proposed extension and so should be deducted from the area of the proposed extended element. This results in net new floorspace of less than 40 sq.m.</p> <p>(b) n/a</p> <p>(c) n/a</p>
<p>2. (a) Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 40 square metres.</p> <p>(b) Subject to paragraph (a), where the house is terraced or semi-detached and has been extended previously, the floor area of any extension above ground level taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres.</p> <p>(c) Subject to paragraph (a), where the house is detached and has been extended previously, the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 20 square metres.</p>	<p>(a) House does not appear to have been previously extended at ground floor level. The existing rear protrusion appears to have formed part of the original construction.</p> <p>(b) n/a</p> <p>(c) n/a</p>
<p>3. Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.</p>	<p>n/a</p>
<p>4. (a) Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.</p>	<p>(a) The height of the wall does not exceed the existing height of the rear wall of the dwelling.</p> <p>(b) n/a</p>

<p>(b) Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.</p> <p>(c) The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.</p>	<p>(c) The height does not exceed the height of the eaves / parapet</p>
<p>5. The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.</p>	<p>A proposed site layout plan has been provided and from this it can be seen that no less than 25 sq.m. private open space would remain to the rear of the house.</p>
<p>6. (a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.</p> <p>(b) Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces.</p> <p>(c) Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 11 metres from the boundary it faces.</p>	<p>The windows shown to the extension are in excess of 1m from the boundary they face.</p>
<p>7. The roof of any extension shall not be used as a balcony or roof garden.</p>	<p>The roof of the proposed extension does not appear to be used as a balcony or garden.</p>

7. ENVIRONMENTAL ASSESSMENT

7.1 Screening for Environmental Impact Assessment

Having regard to the contents of Article 103 (as amended by Article 14 of the Planning and Development (Amendment) (No 3) Regulations 2011) and Schedule 7 of the Planning and Development Regulations 2001 (as amended) it is considered that the development by reason of its nature, scale and location would not be likely to have significant effects on the environment. Accordingly, it is considered that an environmental impact statement is not required to be submitted.

7.2 Screening for Appropriate Assessment

Section 177U (9) of the Act requires planning authorities to screen applications for a section 5 declaration for appropriate assessment. The provisions of the *Habitats Directive*, the *Appropriate Assessment Guidelines for Planning Authorities 2009* (revised 2010) and the Act are noted. The relevant European sites are the Cork Harbour SPA (site code 004030) and the Great Island Channel cSAC (site code 001058). Having regard to the location of the development site relative to these European sites and related watercourses and to the nature and scale of the development it is considered that the development would not affect the integrity of the European sites referred to above. Accordingly, it is considered that appropriate assessment is not required.


8. RECOMMENDATION

Having regard to:

- the particulars received by the Planning Authority on 20/01/2023
- Sections 2, 3, and 4 of the Planning and Development Act 2000 as amended, and
- the provision of Schedule 2, Part 1, Class 1 the Planning and Development Regulations, 2001(as amended)

the planning authority considers that —

the construction of a single storey extension to the rear of 42 Foxwood, Garryduff, Cork **IS DEVELOPMENT** and **IS EXEMPTED DEVELOPMENT**.



Gillian Tyrrell
Assistant Planner

16.02.2023

DEVELOPMENT MANAGEMENT

CCP

20 JAN 2023

COMHAIRLE CATHRACH CHORCAÍ
CORK CITY COUNCIL

Community, Culture & Placemaking Directorate,
Cork City Council, City Hall, Anglesea Street, Cork.

R-Phost/E-Mail planning@corkcity.ie

Fón/Tel: 021-4924762

Líonra/Web: www.corkcity.ie

SECTION 5 DECLARATION APPLICATION FORM
under Section 5 of the Planning & Development Acts 2000 (as amended)

1. POSTAL ADDRESS OF LAND OR STRUCTURE FOR WHICH DECLARATION IS SOUGHT

42 Foxwood, Garryduff,
Rochestown, Cork, T12 A0ET.

2. QUESTION/ DECLARATION DETAILS

PLEASE STATE THE SPECIFIC QUESTION FOR WHICH A DECLARATION IS SOUGHT:

Sample Question: Is the construction of a shed at No 1 Wall St, Cork development and if so, is it exempted development?

Note: only works listed and described under this section will be assessed under the section 5 declaration.

Is the construction of a 34sqm rear extension to the east of 42 Foxwood, Garryduff, Rochestown, Cork, T12 A0ET development, and if so is it exempted development?

ADDITIONAL DETAILS REGARDING QUESTION/ WORKS/ DEVELOPMENT:

(Use additional sheets if required).

- The proposed extension to this semi-detached dwelling:
- has not been previously extended and the proposed floor area for the extension is ~~34~~ 34sqm (less than 40)
 - the proposed extension does not have any floor above ground level.
 - the rear wall of the existing house does not have a gable and the proposed extensions walls do not exceed the height of the rear wall of the house.
 - the highest part of the extension's roof (monopitch) does not exceed the highest part of the dwelling's roof.
 - the area of private open space to the rear of the house is not reduced to less than 25sqm (reargarden = 55sqm retained)
 - No proposed ground floor windows are within 1m of the boundary it faces.
 - the extensions roof shall not be used as a balcony or roof garden.

3. Are you aware of any enforcement proceedings connected to this site?

If so please supply details:

No

4. Is this a Protected Structure or within the curtilage of a Protected Structure? No

If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 been requested or issued for the property by the Planning Authority? NA

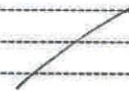

5. Was there previous relevant planning application/s on this site? No

If so please supply details:

NA

6. APPLICATION DETAILS

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square meters (sq. M)

(a) Floor area of existing/proposed structure/s	Existing 107sqm / 34sqm proposed
(b) If a domestic extension, have any previous extensions/structures been erected at this location after 1 st October, 1964, (including those for which planning permission has been obtained)?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, please provide floor areas. (sq m) NA
(c) If concerning a change of use of land and / or building(s), please state the following: NA	
Existing/ previous use (please circle)	Proposed/existing use (please circle)
	

8. LEGAL INTEREST

Please tick appropriate box to show applicant's legal interest in the land or structure	A. Owner <input checked="" type="checkbox"/>	B. Other
Where legal interest is 'Other', please state your interest in the land/structure in question	NA	
If you are not the legal owner, please state the name and address of the owner if available	NA	

9. I / We confirm that the information contained in the application is true and accurate:

Signature: Shane Fenton

Date: 20/01/2023

CONTACT DETAILS

10. Applicant:

Name(s)	Margaret + David Moloney
Address	42 Foxwood, Garryduff Rochestown, Cork, T12AD6T

11. Person/Agent acting on behalf of the Applicant (if any):

Name(s):	Shane Fenton MRIA1		
Address:	Wain Morehead Architects Ltd. Pembroke House, Pembroke Street. T12WY7P, Cork.		
Telephone:	021 2455700		
E-mail address:	[REDACTED]		
Should all correspondence be sent to the above address? <small>(Please note that if the answer is 'No', all correspondence will be sent to the Applicant's address)</small>	Yes	<input checked="" type="checkbox"/>	No <input type="checkbox"/>

12. ADDITIONAL CONTACT DETAILS

The provision of additional contact information such as email addresses or phone numbers is voluntary and will only be used by the Planning Authority to contact you should it be deemed necessary for the purposes of administering the application.

ADVISORY NOTES:

<p>The application must be accompanied by the required fee of €80</p> <p>The application should be accompanied by a site location map which is based on the Ordnance Survey map for the area, is a scale not less than 1:1000 and it shall clearly identify the site in question.</p> <p>Sufficient information should be submitted to enable the Planning Authority to make a decision. If applicable, any plans submitted should be to scale and based on an accurate survey of the lands/structure in question.</p> <p><i>The application should be sent to the following address:</i></p> <p style="text-align: center;">The Development Management Section, Community, Culture & Placemaking Directorate, Cork City Council, City Hall, Anglesea Street, Cork.</p>
--

- The Planning Authority may require further information to be submitted to enable the authority to issue the declaration.
- The Planning Authority may request other person(s) other than the applicant to submit information on the question which has arisen and on which the declaration is sought.
- Any person issued with a declaration may on payment to An Bord Pleanála refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.
- In the event that no declaration is issued by the Planning Authority, any person who made a request may on payment to the Board of such a fee as may be prescribed, refer the question for decision to the Board within 4 weeks of the date that a declaration was due to be issued by the Planning Authority.

The application form and advisory notes are non-statutory documents prepared by Cork City Council for the purpose of advising as to the type information is normally required to enable the Planning Authority to issue a declaration under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations 2001 as amended.

DATA PROTECTION: The use of the personal details of planning applicants, including for marketing purposes, may be unlawful under the Data Protection Act 1988-2003 and may result in action by the Data Protection Commissioner against the sender, including prosecution.



The Development Management Section,
Community, Culture & Placemaking Directorate,
Cork City Council, City Hall,
Anglesea Street, Cork,
T12 T997

11089/PI01

20 January 2023

RE: 42 Foxwood, Garryduff, Rochestown

Dear Sir / Madam,

On behalf of our clients Mr. & Mrs. Margaret & David Moloney, please find enclosed a Section 5 Application for a residential extension for the above project, at 42 Foxwood, Garryduff, Rochestown, T12A0ET. Below is a complete schedule of documents submitted as part of this application.

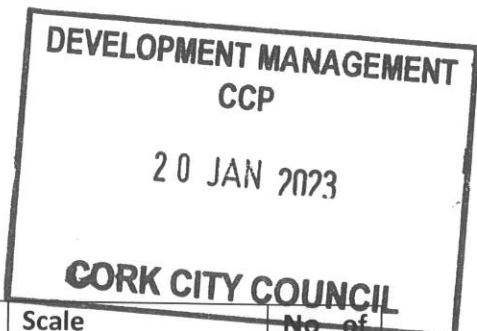
We trust that this is in order.

Should you have any queries, please do not hesitate to contact the undersigned.

Yours sincerely,

Shane Fenton

Shane Fenton MR IA
WAIN MOREHEAD ARCHITECTS LTD.
Enc.



Schedule of Documents:

Doc No.	Rev	Document Name	Scale	No of Copies
-		Cover Letter	-	2
-		Section 5 declaration application form	-	2
The following reports and drawings prepared by Wain Morehead Architects Ltd.				
11089-002	1	OSI Site location Map	1:1000 @A4	2
11089-010	7	Existing Site Plan	1:100 @ A3	2
11089-011	7	Demo. Ground Floor/First Floor Plans	1:100 @ A3	2
11089-020	7	Existing Elevation	1:100 @ A3	2
11089-100	7	Proposed Site Plan	1:100 @A3	2
11089-101	9	Proposed Ground Floor Plan	1:50 @A3	2
11089-102	7	Proposed FF Plan & Section 4	1:100 @A3	2
11089-201	7	Proposed Elevation	1:100 @A3	2
11089-301	6	Proposed Sections 1	1:100 @ A3	2



DIRECTORS:

John Morehead, DIP ARCH, B. ARCH SC., F.R.I.A.I., ARB, DIP. A.P.M., M.I.P.M.I., C.E.P.H.D.
Gabrielle Morehead, A.I.P.P.A.

WAIN MOREHEAD ARCHITECTS LIMITED, REGISTERED IN IRELAND: NO. 412424



Planning Pack Map

Drawing: Site Location Map
Project: Extension at 42 Foxwood
Scale: 1:1000 @ A4 #002

Drawn by: DMJ of Main Movehead Architects Ltd.
Project: Pembroke House, Pembroke St, Cork, T12 W7FP
Date: 18/01/2023



Ordnance Survey
National Mapping Agency



CENTRE COORDINATES:
ITM 572343,568512

PUBLISHED: 18/01/2023
ORDER NO.: 50312247_1

MAP SERIES: 1:2,500
1:2,500
MAP SHEETS: 6429-A
6429-C

COMPILED AND PUBLISHED BY:
Ordnance Survey Ireland,
Phoenix Park,
Dublin 8,
Ireland.

Unauthorised reproduction
infringes Ordnance Survey Ireland
and Government of Ireland
copyright.

All rights reserved.
No part of this publication may
be copied, reproduced
or transmitted in any form
or by any means without the prior
written permission of
the copyright owners.

The representation on this map
of a road, track or footpath
is not evidence of the existence
of a right of way.

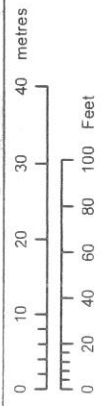
Ordnance Survey maps
never show legal property
boundaries, nor do they
show ownership of
physical features.

© Suirbhéireacht Ordánais Éireann,
2023
© Ordnance Survey Ireland, 2023
www.osi.ie/copyright

LEGEND:
<http://www.osi.ie>
search: 'Large Scale Legend'

CAPTURE RESOLUTION:
The map objects are only accurate to the
resolution at which they were captured.
Output scale is not indicative of data capture scale.
Further information is available at
<http://www.osi.ie> search: 'Capture Resolution'

OUTPUT SCALE: 1:1,000



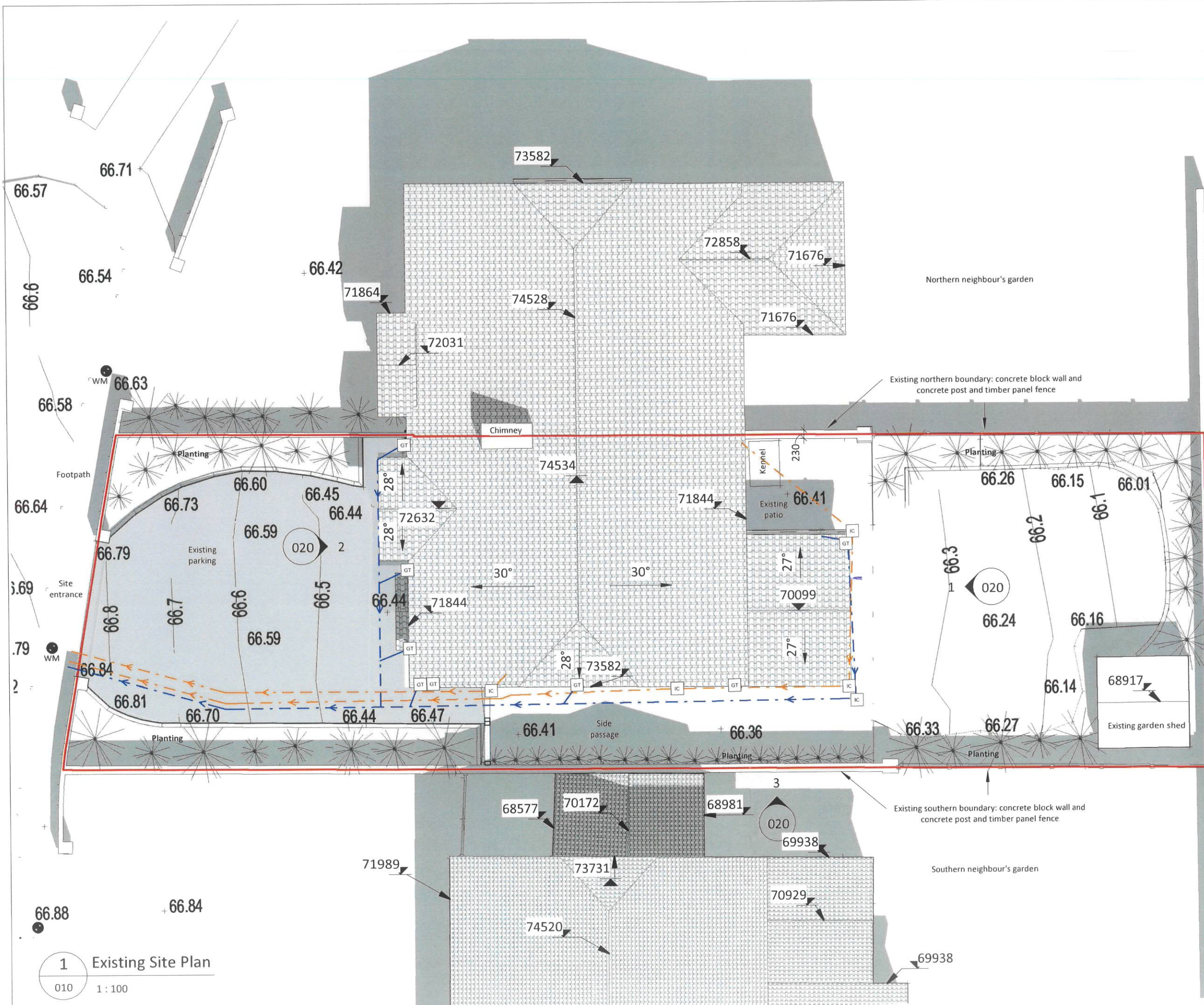
568596 572226 568596 572459 568426 572226

DO NOT SCALE DIMENSIONS FROM DRAWINGS.
ALL DIMENSIONS ARE TO BE CHECKED ON SITE.

Please Note:

Ownership of Documents
Drawings and Specifications as instruments of Wain Morehead Architects Ltd. Whether the work for which they are made be executed or not, may not be copied, used or reproduced in any way without the authority of Wain Morehead Architects Ltd.

- Site Boundary
- - - Site Compound



Existing eastern boundary: concrete block wall

Rev	Date	Description	Iss. by
7	20/01/2023	Issued for Planning Exemption	OMS
6	16/12/2022	Issued for Information	OMS

Revision Schedule

Client:
M. & D. Moloney

Project:
**Foxwood,
Rochestown, Cork**



A: Pembroke House, Pembroke Street, T12 W7YP, Cork, Ireland
T+353 (0) 21 2455 700 E wma@wma.ie W http://www.wma.ie



Drawing:
Existing Site Plan

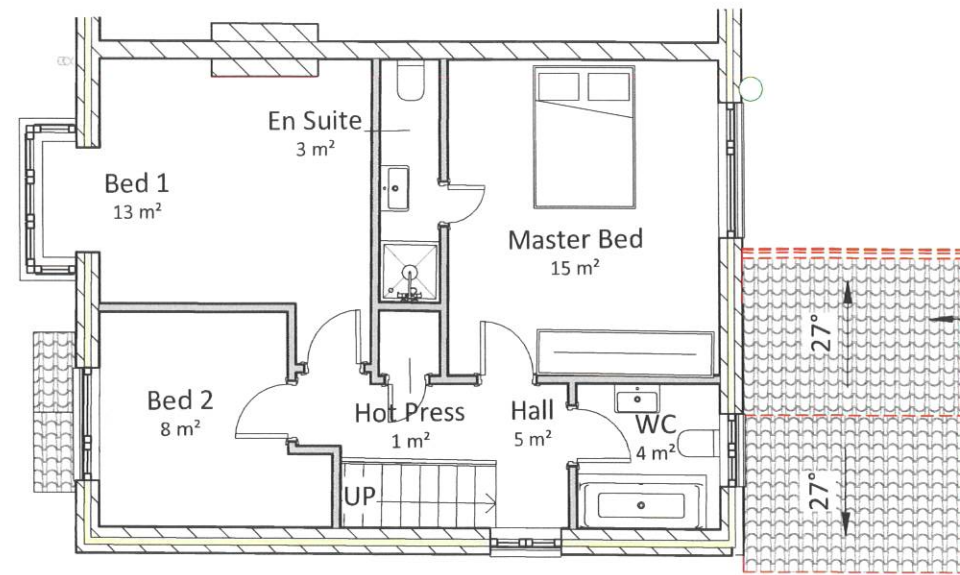
Scale @ A3: As indicated	Date: 10/11/21	Drawing No.: 11089-010
Drawn: OMS	Checked: SF	Revision No.: 7

1 Existing Site Plan
010 1 : 100

DO NOT SCALE DIMENSIONS FROM DRAWINGS.
ALL DIMENSIONS ARE TO BE CHECKED ON SITE.



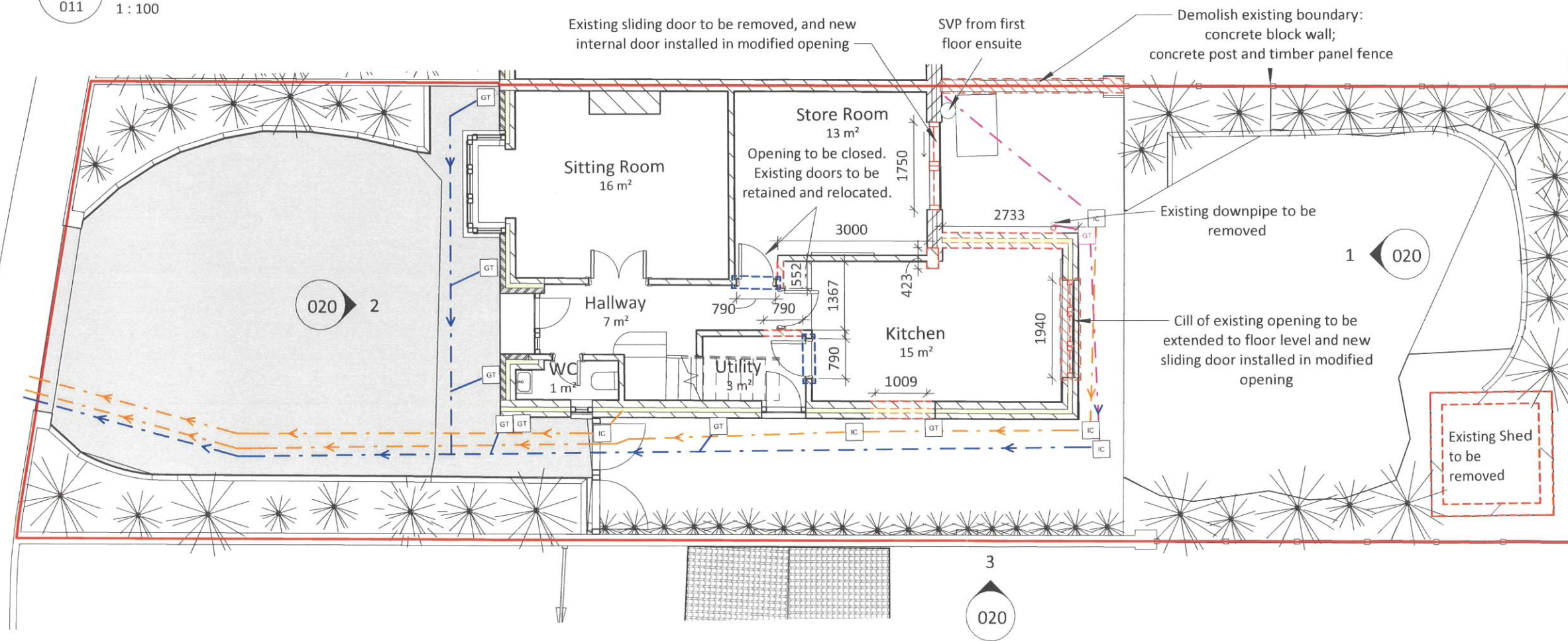
Please Note:
Ownership of Documents
Drawings and Specifications as instruments of Wain Morehead Architects Ltd. Whether the work for which they are made be executed or not, may not be copied, used or reproduced in any way without the authority of Wain Morehead Architects Ltd.



Note: Existing roof to be demolished and rebuilt

- Site Boundary
- Site Compound
- Existing Foul Drainage
- Existing Surface Water Drainage
- Drainage to be Demolished
- To be Demolished
- To be Filled In/Blocked Up

2 Existing First Floor Plan
011 1 : 100



1 011-Demolition Ground Floor Plan
011 1 : 100

Rev	Date	Description	Iss. by
7	20/01/2023	Issued for Planning Exemption	OMS
6	16/12/2022	Issued for Information	OMS

Revision Schedule

Client:
M. & D. Moloney

Project:
Foxwood, Rochestown, Cork

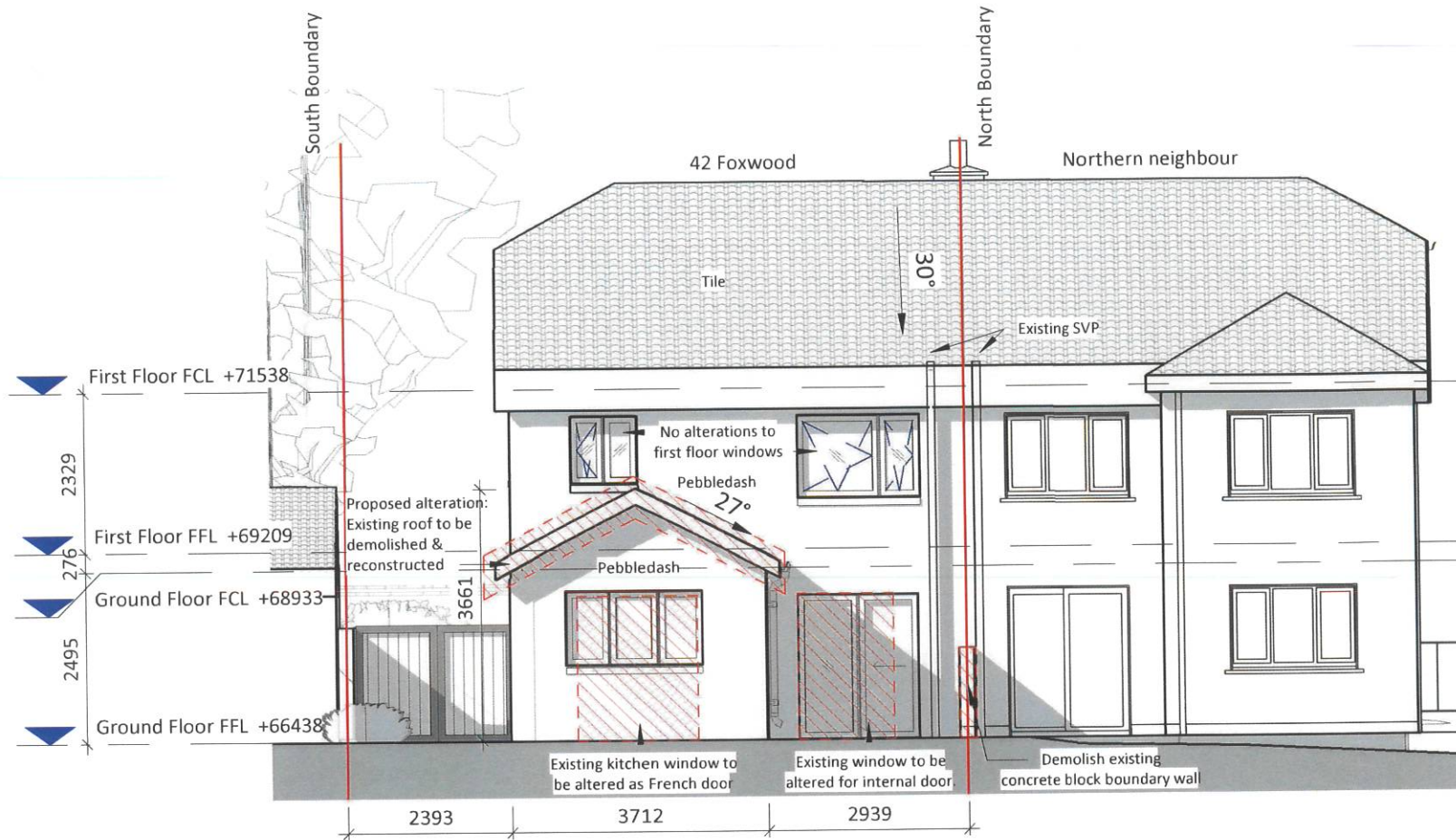


Drawing:
Demo. Ground Floor/First Floor Plans

Scale @ A3: As indicated	Date: 10/11/21	Drawing No.: 11089-011
Drawn: OMS	Checked: SF	Revision No.: 7

DO NOT SCALE DIMENSIONS FROM DRAWINGS.
ALL DIMENSIONS ARE TO BE CHECKED ON SITE.

Please Note:
Ownership of Documents
Drawings and Specifications as instruments of Wain Morehead Architects Ltd. Whether the work for which they are made be executed or not, may not be copied, used or reproduced in any way without the authority of Wain Morehead Architects Ltd.

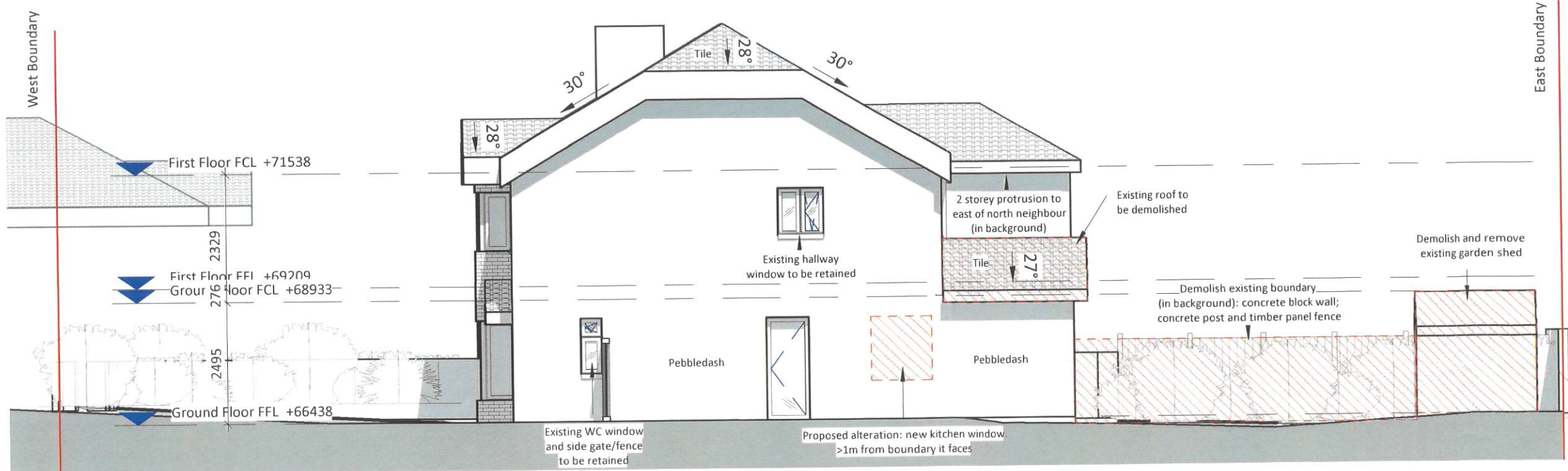


1 Existing East Elevation
020 1:100



2 Existing West Elevation
020 1:100

- Existing Foul Drainage
- Existing Surface Water Drainage
- Drainage to be Demolished
- To be Demolished
- To be Filled In/Blocked Up



3 Existing South Elevation
020 1:100

Rev	Date	Description	Iss. by
7	20/01/2023	Issued for Planning Exemption	OMS
6	16/12/2022	Issued for Information	OMS

Revision Schedule

Client:
M. & D. Moloney

Project:
Foxwood, Rochestown, Cork



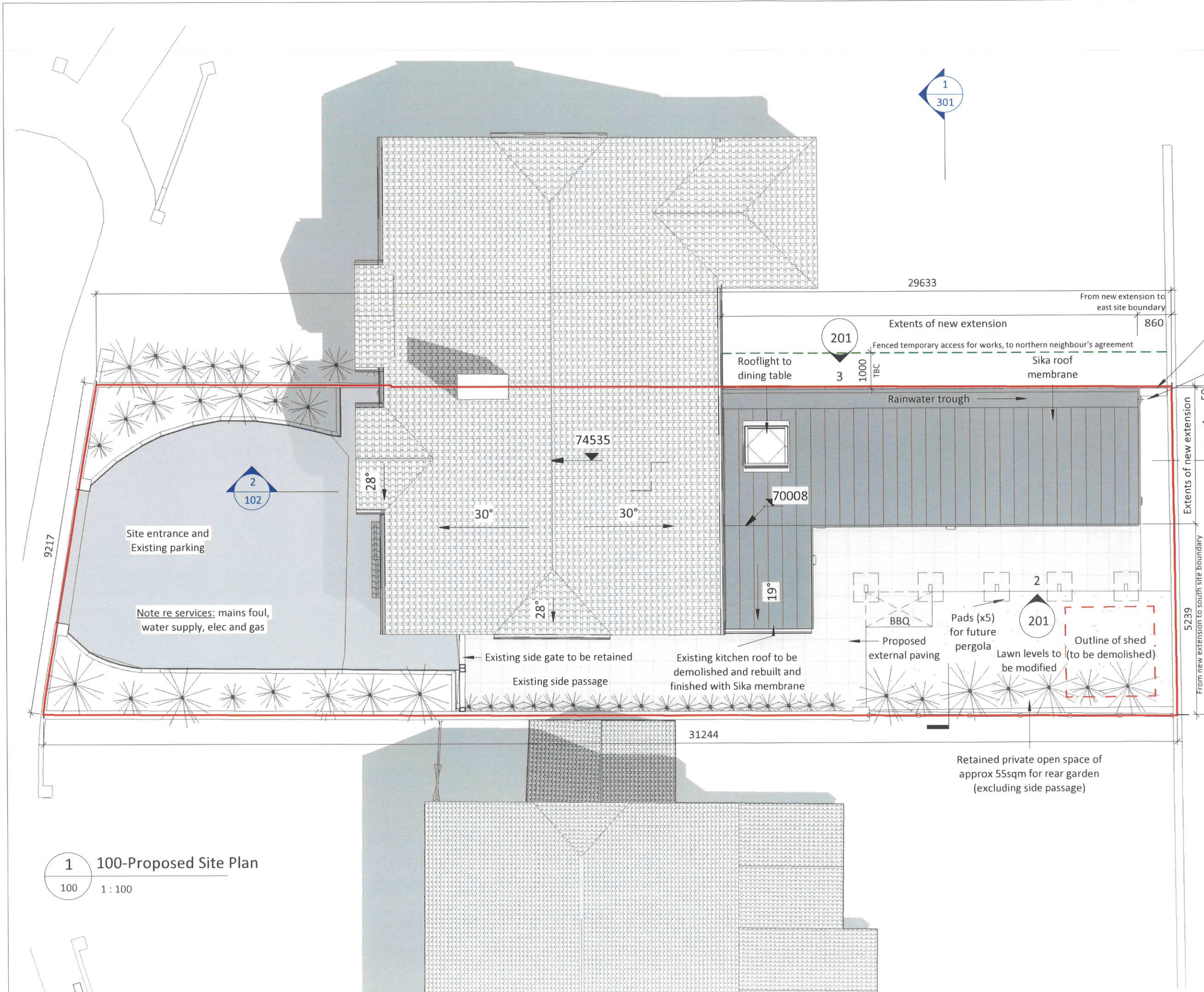
Drawing:
Existing Elevation

Scale @ A3: As indicated	Date: 10/11/21	Drawing No.: 11089-020
Drawn: OMS	Checked: SF	Revision No.: 7

DO NOT SCALE DIMENSIONS FROM DRAWINGS.
ALL DIMENSIONS ARE TO BE CHECKED ON SITE.

Please Note:
Ownership of Documents
Drawings and Specifications as instruments of Wain Morehead Architects Ltd. Whether the work for which they are made be executed or not, may not be copied, used or reproduced in any way without the authority of Wain Morehead Architects Ltd.

— Site Boundary
- - - Site Compound



New blockwork boundary wall (1800mm high)
Alu hopper and downpipe to detail
From new extension to south site boundary

201

9043

Rev	Date	Description	Iss. by
7	20/01/2023	Issued for Planning Exemption	OMS
6	16/12/2022	Issued for Information	OMS

Revision Schedule

Client:
M. & D. Moloney
Project:
Foxwood, Rochestown, Cork



A: Pembroke House, Pembroke Street, T12 W7YP, Cork, Ireland
T+353 (0) 21 2455 700 E wma@wma.ie W http://www.wma.ie



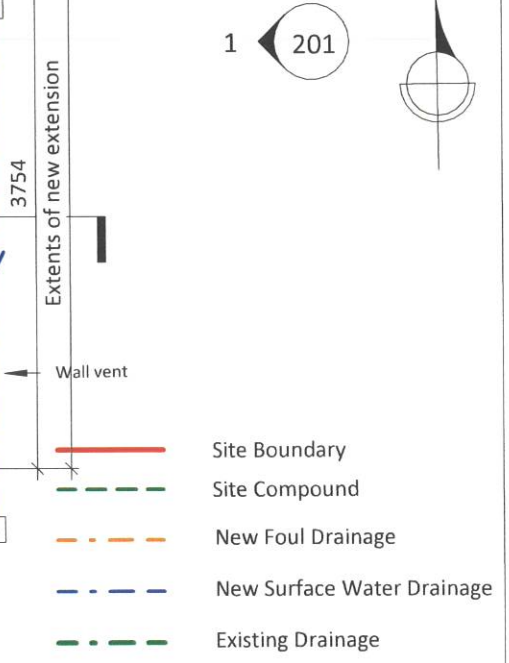
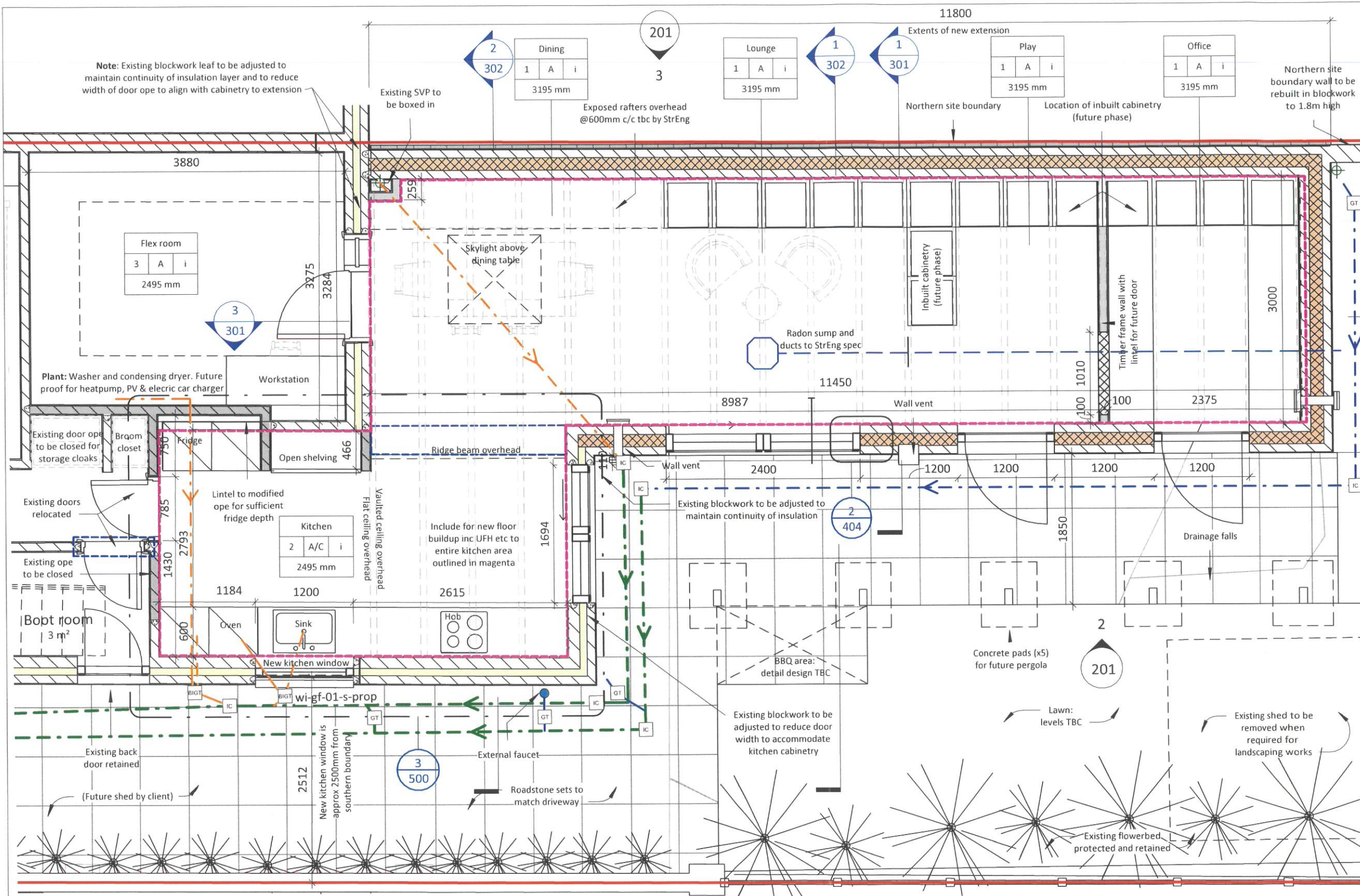
Drawing:
Proposed Site Plan

Scale @ A3: As indicated	Date: 10/11/21	Drawing No.: 11089-100
Drawn: OMS	Checked: SF	Revision No.: 7

1 100-Proposed Site Plan
100 1 : 100

DO NOT SCALE DIMENSIONS FROM DRAWINGS.
ALL DIMENSIONS ARE TO BE CHECKED ON SITE.

Please Note:
Ownership of Documents
Drawings and Specifications as instruments of Wain Morehead Architects Ltd. Whether the work for which they are made be executed or not, may not be copied, used or reproduced in any way without the authority of Wain Morehead Architects Ltd.



Rev	Date	Description	Iss. by
9	20/01/2023	Issued for Planning Exemption	OMS
8	16/12/2022	Issued for Information	OMS

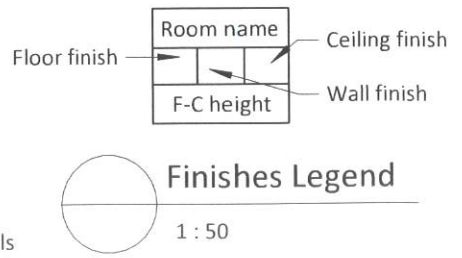
Revision Schedule

Client: M. & D. Moloney
Project: Foxwood, Rochestown, Cork



Area Schedule (GIA)	
Name	Area
Ground Floor GIA	56.71 m ²
First Floor GIA	51.47 m ²
Extension	34.27 m ²
	142.45 m ²

- Existing External Wall
- Proposed External Wall
- In-fill/New Internal Masonry Walls
- New Wall Opening
- New Window Opening
- Area of New Ground Floor Slab (Note: Refer to construction details for new ground floor buildup)

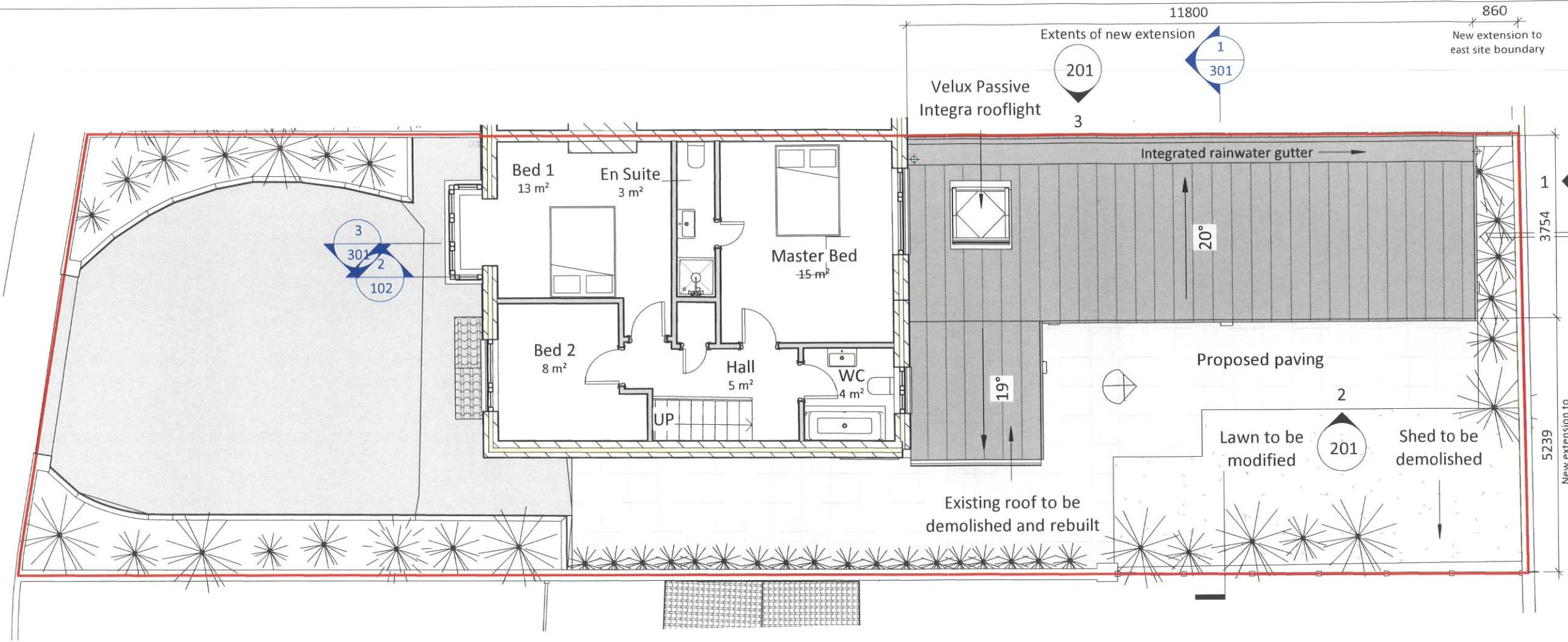


FINISHES SCHEDULE		
FLOORS	WALLS	CEILINGS
1. Timber flooring	A. Plaster & Paint (washable)	i. Painted plasterboard
2. Selected ceramic tile	B. As existing	ii. As existing
3. Tiles to match existing hall	C. Selected ceramic tile	



1 101-Proposed Ground Floor Plan
101 1:50

Drawing: Proposed Ground Floor Plan		
Scale @ A3: As indicated	Date: 10/11/21	Drawing No.: 11089-101
Drawn: OMS	Checked: SF	Revision No.: 9



DO NOT SCALE DIMENSIONS FROM DRAWINGS. ALL DIMENSIONS ARE TO BE CHECKED ON SITE.

Please Note:
 Ownership of Documents
 Drawings and Specifications as instruments of Wain Morehead Architects Ltd. Whether the work for which they are made be executed or not, may not be copied, used or reproduced in any way without the authority of Wain Morehead Architects Ltd.

Area Schedule (GIA)	
Name	Area
Ground Floor GIA	56.71 m ²
First Floor GIA	51.47 m ²
Extension	34.27 m ²
	142.45 m ²

Rev	Date	Description	Iss. by
7	20/01/2023	Issued for Planning Exemption	OMS
6	16/12/2022	Issued for Information	OMS

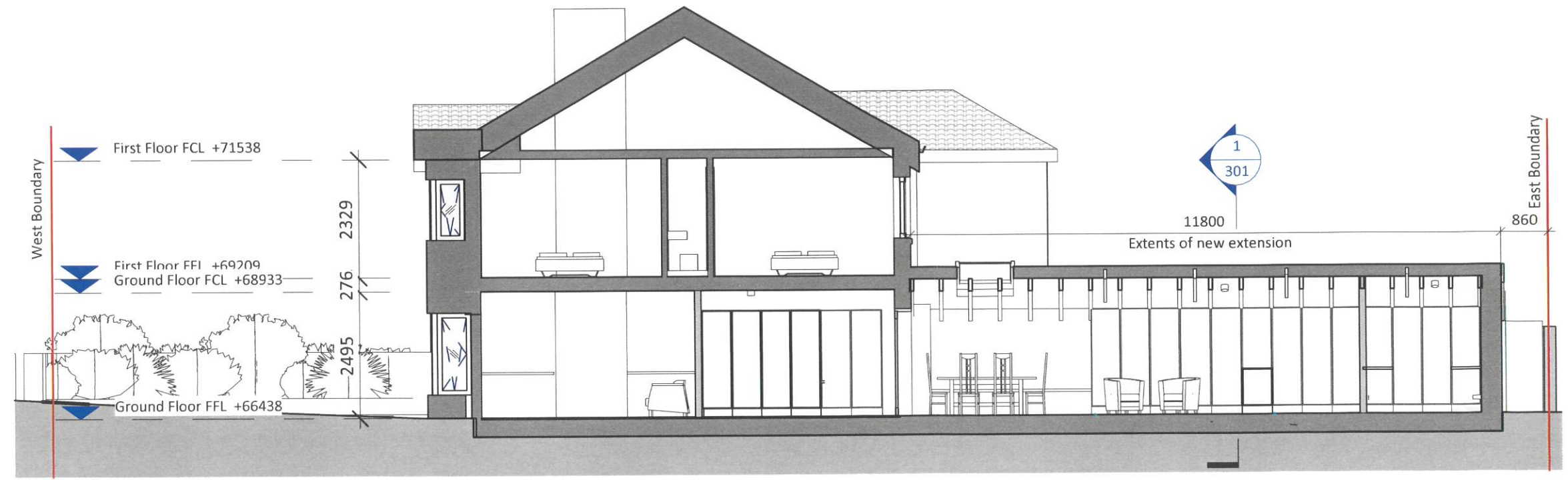
Revision Schedule

Client:
M. & D. Moloney

Project:
Foxwood, Rochestown, Cork

Drawing: Proposed FF Plan & Section 4		
Scale @ A3: 1 : 100	Date: 10/11/21	Drawing No.: 11089-102
Drawn: OMS	Checked: SF	Revision No.: 7

1 102-Proposed First Floor Plan
 102 1 : 100

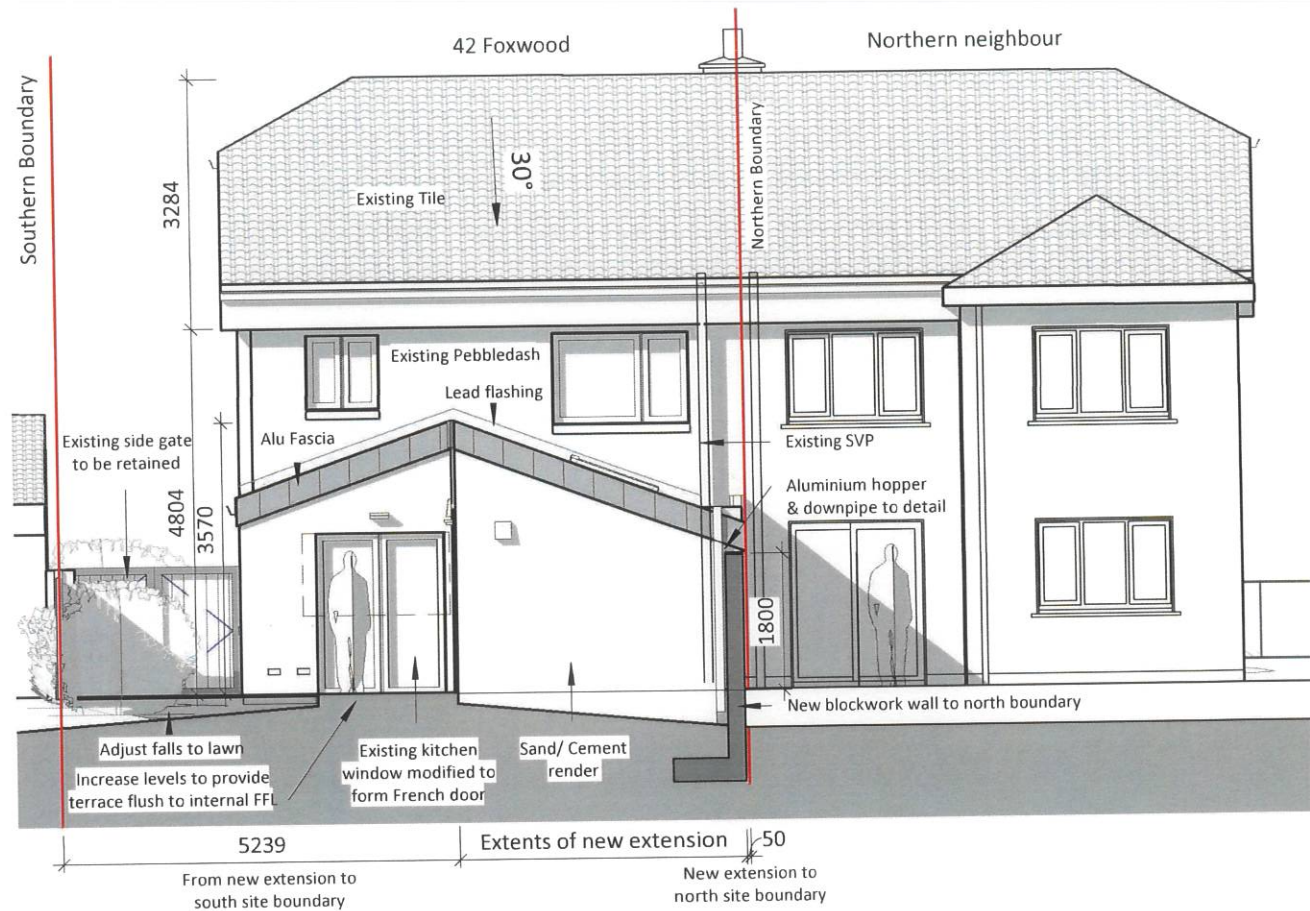


2 302-Proposed Section 4
 102 1 : 100

Scale: 1:100 @ A3

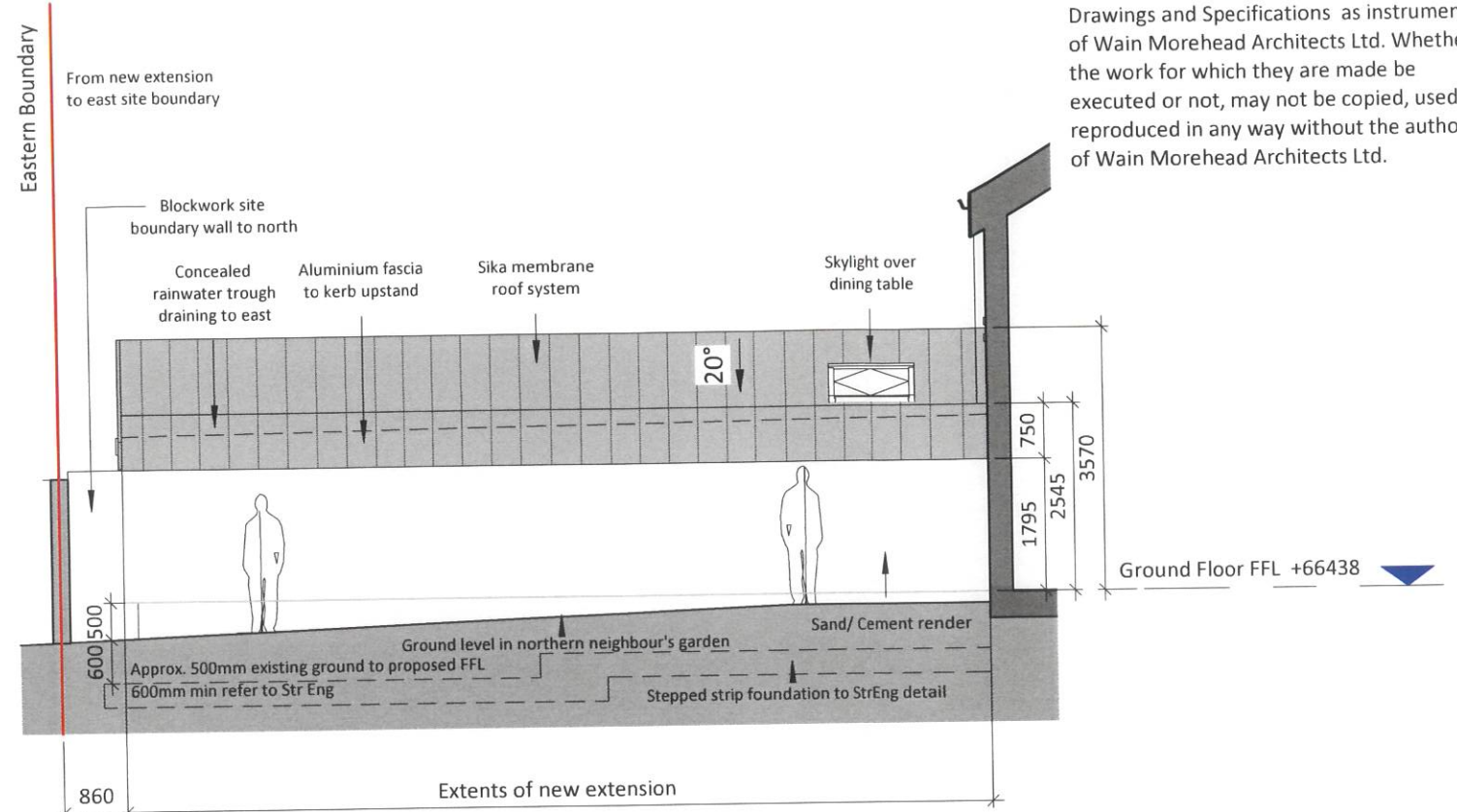
DO NOT SCALE DIMENSIONS FROM DRAWINGS.
ALL DIMENSIONS ARE TO BE CHECKED ON SITE.

Please Note:
Ownership of Documents
Drawings and Specifications as instruments of Wain Morehead Architects Ltd. Whether the work for which they are made be executed or not, may not be copied, used or reproduced in any way without the authority of Wain Morehead Architects Ltd.



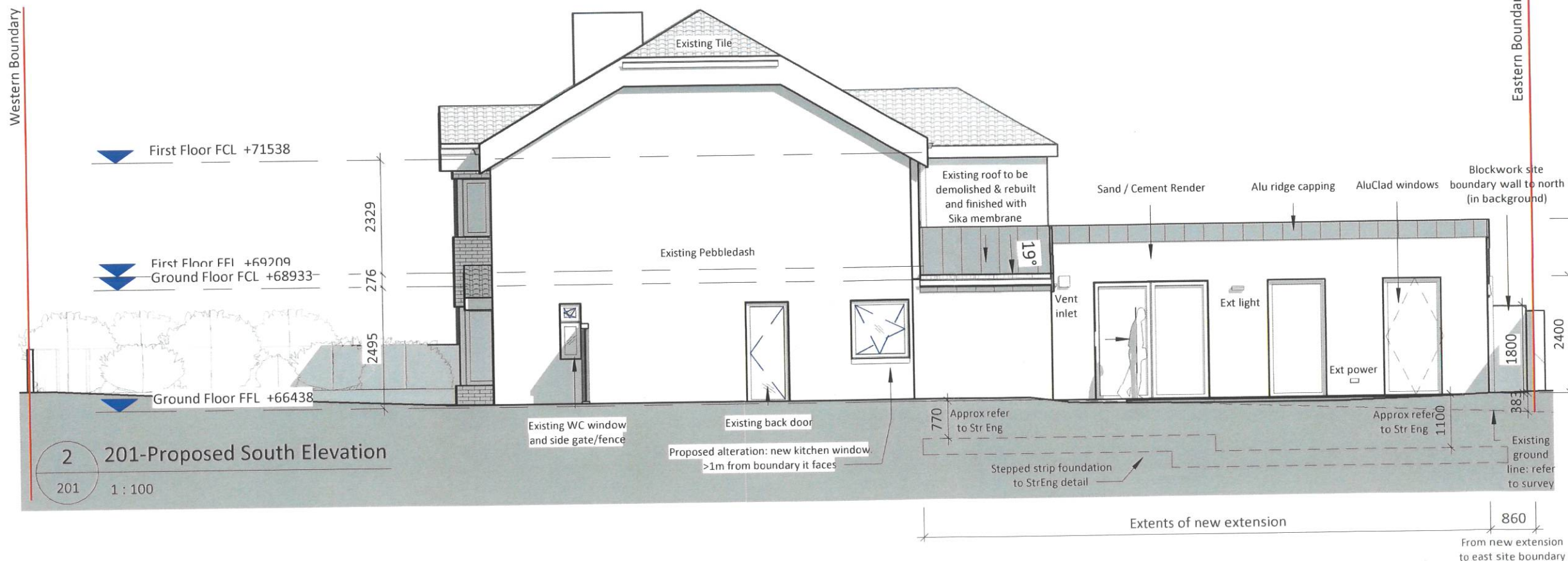
1 201-Proposed East Elevation

201 1 : 100



3 201-Proposed North Elevation

201 1 : 100



2 201-Proposed South Elevation

201 1 : 100

Rev	Date	Description	Iss. by
7	20/01/2023	Issued for Planning Exemption	OMS
6	16/12/2022	Issued for Information	OMS

Revision Schedule

Client:
M. & D. Moloney

Project:
Foxwood, Rochestown, Cork

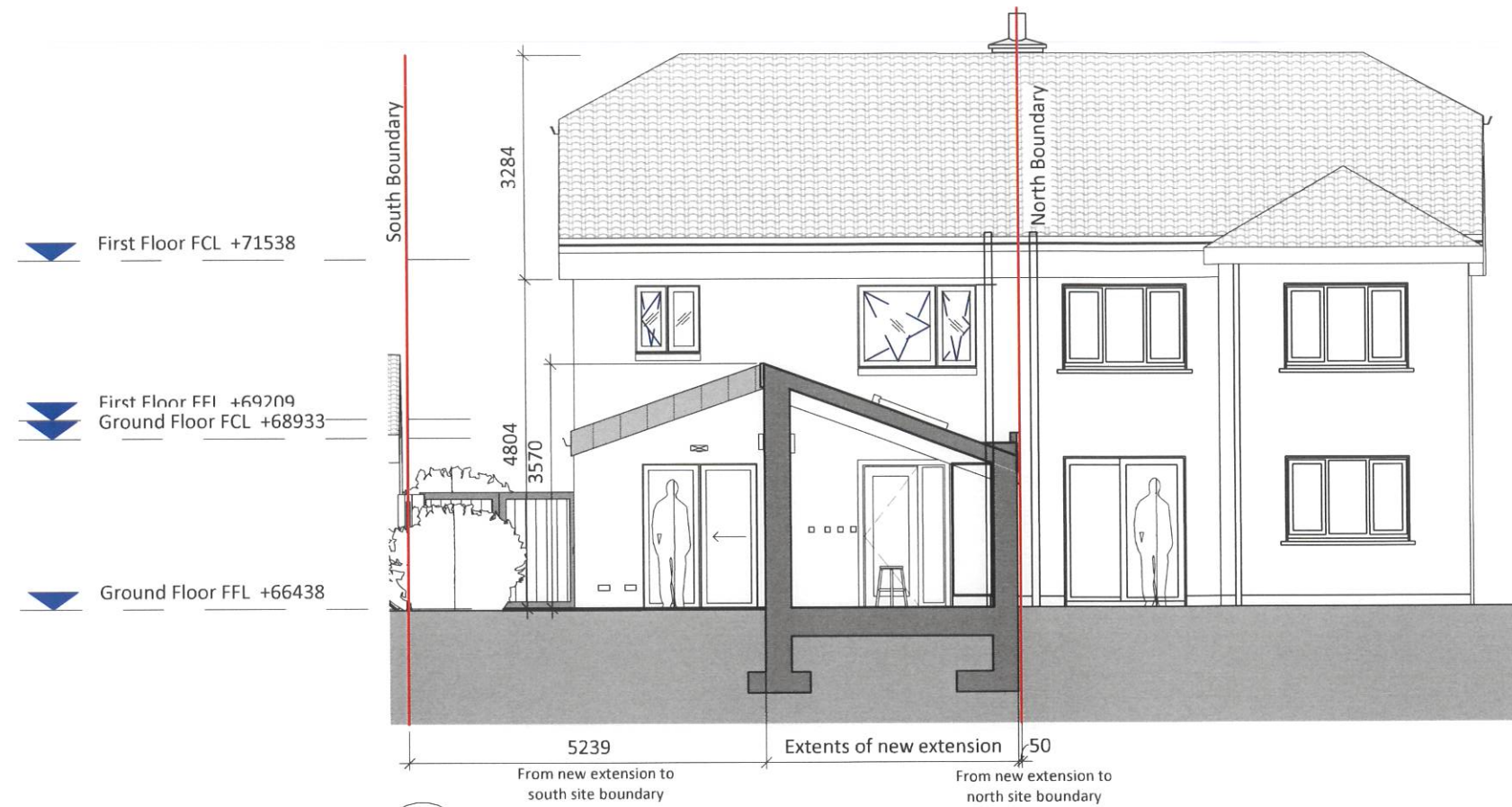


Drawing:
Proposed Elevation

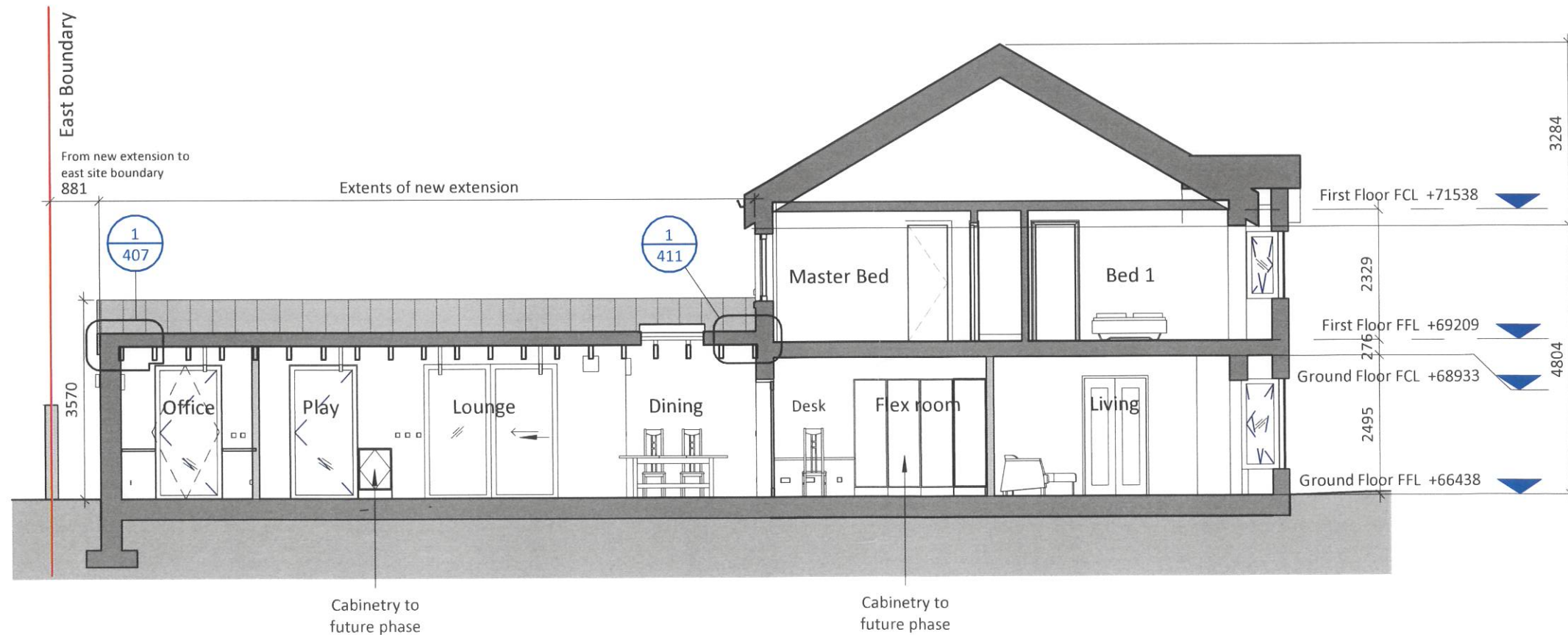
Scale @ A3: 1 : 100	Date: 10/11/21	Drawing No.: 11089-201
Drawn: OMS	Checked: SF	Revision No.: 7

DO NOT SCALE DIMENSIONS FROM DRAWINGS.
ALL DIMENSIONS ARE TO BE CHECKED ON SITE.

Please Note:
Ownership of Documents
Drawings and Specifications as instruments of Wain Morehead Architects Ltd. Whether the work for which they are made be executed or not, may not be copied, used or reproduced in any way without the authority of Wain Morehead Architects Ltd.



1 301-Proposed Section 4
301 1 : 100



3 301-Proposed Section 3
301 1 : 100

Rev	Date	Description	Iss. by
6	20/01/2023	Issued for Planning Exemption	OMS
5	16/12/2022	Issued for Information	OMS

Revision Schedule

Client:
M. & D. Moloney

Project:
Foxwood, Rochestown, Cork



A: Pembroke House, Pembroke Street, T12 W7YP, Cork, Ireland
T+353 (0) 21 2455 700 E wma@wma.ie W http://www.wma.ie



Drawing:
Proposed Sections 1

Scale @ A3: 1 : 100	Date: 10/11/21	Drawing No.: 11089-301
Drawn: OMS	Checked: SF	Revision No.: 6