

Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Mr. David Burke
C/o Will Walsh, Architect, MRIAI
Scott Tallon Walker Architects
72 South Mall
Cork

13/06/2020

**Re: Section 5 Declaration R576/20 'Phase 1' Building,
Tyndall National Institute, Lee Maltings, Dyke Parade &
Prospect Row, Cork**

A Chara,

With reference to your request for a Section 5 Declaration at the above named property, I wish to advise as follows:

Having regard to

- The particulars received by the Planning Authority on 07/05/2020
- Section 57(1) of the Planning & Development Act 2000 (as amended)

It is considered that

- Repair of the existing roof finish carefully retaining and re-using existing slates and retaining existing roof structure fabric to the maximum extent possible, by means of scarf joints to deteriorated roof timbers etc. Where new material is required, closely matching material, including natural slate, lead finishing, clay bricks shall be used.
- Removal of defunct services penetrations (vent pipes etc.) through the roof
- Reinstatement of historic/original roof profile on the north west corner, to replace the existing flat roofed plant area
- Removal of all defunct plant from the flat roofed plant areas
- Removal of all fibre cement and asbestos cement slates and replacement with natural slates to match the existing, as described above.
- Minor internal layout modifications to the third-floor plan to provide adequate fire safety separation and safe maintenance and inspection access by installation of a new stairs to the attic space
- All works proposed shall be carried out under supervision of Scott Tallon Walker Architects and Curtains Structural Engineers, currently overseeing works to the adjacent Malting Tower building know as 'Phase 3 Building (PL. Reg. Ref. 18/38075)



We are Cork.

Is Development and Is Exempted Development

Is misa le meas,

A handwritten signature in black ink, appearing to read 'Kerry Bergin', is written over a horizontal line.

Kerry Bergin
Community, Culture and Placemaking Directorate
Cork City Council

Cork City Council- Planners Report Section 5 Declaration

File Reference : R576/20

Development Description:

- Repair of the existing roof finish carefully retaining and re-using existing slates and retaining existing roof structure fabric to the maximum extent possible, by means of scarf joints to deteriorated roof timbers etc. Where new material is required, closely matching material, including natural slate, lead flashing, clay bricks shall be used.
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- All works proposed shall be carried out under supervision of Scott Tallon Walker Architects and Curtins Structural Engineers, currently overseeing works to the adjacent Malting Tower building known as 'Phase 3 Building (Pl. Reg. Ref. 18/38075).

1. SITE/DEVELOPMENT DESCRIPTION

The site is occupied by the Tyndall Institute which was developed in the former Lee Maltings complex located at the junction of Dyke Parade and Prospect Row. The Tyndall Institute is a research centre specialising in integrating I.C.T. hardware and systems. The overall site extends to the river's edge with the building which is the subject of the current application was originally used as a malting kiln. This building is located in the north western corner of the site and is setback somewhat from the river's edge and fronted by a modern building. It is partly visible from the public walkway on the north-side of the River Lee.

Permission is sought for the addition of an external fire escape stairs, alterations to internal floor levels and layouts, replacement of all windows, the addition of bay windows on the western façade at first and second floor level, the addition of a dormer window in the western roof, the addition of 2 No. roof lights in the eastern roof, the relocation of an adjacent bike shelter and associated works.

2. RECENT RELEVANT PLANNING HISTORY

Various applications relate to the overall complex with the governing permission for the redevelopment of the Lee Malting's site as the Tyndall Institute being:

T.P. 05/30425: Permission granted for the redevelopment of the former Lee Malting's site as a new including a new 4 storey laboratory building and demolition works.

Subsequently a number of minor applications were granted permission with the most recent being:

T.P. 11/34940: Permission granted for a 3 storey glazed entrance and ancillary works.

T.P. 18/38075: Permission granted for the addition of an external fire escape stairs, alterations to internal floor levels and layouts, replacement of all windows, the addition of bay windows on the western façade at first and second floor level, the addition of a dormer window in the western roof,

the addition of 2 No. roof lights in the eastern roof, the relocation of an adjacent bike shelter and associated works.

3. CORK CITY DEVELOPMENT PLAN 2015-2021

Land-Use Zoning

The site is zoned as 'Inner City Residential Neighbourhood' (Ref: Map 1 Volume 2 of the Plan). The objective for this area is as follows:

'To reinforce the residential character of inner city residential neighbourhoods, while supporting the provision and retention of local services, and civic and institutional functions'.

Paragraph 15.9 states as follows:

'The areas outside of the CCA but within the City Centre boundary and some areas in Docklands fall within this zoning type. These areas include a large quantity of older housing stock, some low end commercial uses and a range of other non-residential types such as large health and education institutions and community facilities, which strongly contribute to the character of these areas. The City Council is committed to protecting the established residential housing stock in these areas by restricting the development of incongruous development types and providing the range of local service provision required to ensure their attractiveness and vibrancy. Civic and institutional functions will also be facilitated where appropriate and new residential development to compliment the established areas will be supported (Chapter 13).'

Architectural Heritage

The site is located within the Mardyke Architectural Conservation Area (Ref: Map 3 of Volume 2 and Volume 3 of the Plan). Objective 9.29 in this regard states as follows: *'To seek to preserve and enhance the designated Architectural Conservation Areas in the City'.*

The Lee Maltings complex is listed as a Protected Structure in Volume 3 of the Development Plan (Ref: P.S. 597). Policies relating to the protection of Cork city's built heritage are outlined within Chapter 9 of the Plan and the following statements/policies relate specifically to this application:

- Paragraph 9.35: *'The effect of the designation of Protected Structure status is to ensure that any changes or alterations to the character of the building are carried out in such a way that the existing special character is retained and enhanced.'*
- Objective 9.22 'Reuse and Refurbishment of Historic Buildings and Protection of Archaeological Resource'

'The City Council will positively encourage and facilitate the careful refurbishment of the historic built environment for sustainable and economically viable uses. In addition, it is recognised that the protection and retention of historic buildings within the medieval city, has the dual advantage of protecting the rich archaeological resource and the Recorded Monument of the City Wall.'

- Objective 9.23 'Record of Protected Structures': *'Cork City Council will maintain a Record of Protected Structures within the Cork City Development Plan, which shall include structures or parts of structures which are of special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest, and which it is an objective to protect.'*

- Paragraph 9.39: *'Any proposals for alterations or extensions to a Protected Structure should ensure that there is no damage to the special character of the Protected Structure. Any extensions should be appropriate in terms of architectural design, treatment, character, scale and form to the existing protected building/structure.'*
- Objective 9.27 'Enabling Development' states as follows:
*'Cork City Council will consider permitting the following, notwithstanding the zoning objectives of the area:
The restoration of a Protected Structure, or other buildings of architectural or other merit, currently in poor condition, to conservation best practice standard for any purpose compatible with the character of the building;
The conservation of a Protected Structure or other building of architectural merit or other merit, independent of its current condition, to a tourist related use, in cases where, in the City Councils opinion, the converted building is capable of functioning as an important additional tourist attraction or facility, and the use is compatible with the character of the building.'*

The complex is also listed on the National Inventory of Architectural Heritage (N.I.A.H.) (Ref: 20500770) and specifically the former Kiln Building (Ref: 20500772) – See attached extracts.

It is described in the N.I.A.H. as follows: *'Three-bay four-storey former malting building, built c. 1860, with projecting central bay. Now in use as university building. Hipped slate roofs having apex vent. Red brick walls. Segmental-arched window openings with limestone sills and replacement casement windows.'*

The appraisal states as follows: *'This former malting building forms part of a significant group with the related former mill and malting buildings to site. The unusual form and roof profile are interesting features of this building. Built in the nineteenth century, this group is an interesting reminder of the industrial heritage which was once associated with this part of the city. The imposing scale of the buildings, and the materials utilised in their construction make a positive addition the area.'*

Objective 9.28 of the Plan 'Protection of N.I.A.H. and other structures of built heritage interest' states as follows: *'The City Council as planning authority aims to protect structures of built heritage interest. The "Ministerial Recommendations", made under Section 53 of the Planning Acts, asking the City Council to protect structures will be taken into account when the City Council as planning authority is considering proposals for development that would affect the historic interest of these structures of significance. The City Council will protect structures by making additions to the Record of Protected Structures, designating Architectural Conservation Areas, or other appropriate means. Structures (including those recommended by the Minister) will be prioritized for protection, where:*

- *Key stakeholders groups, building owners or members of the public ask that Cork City Council provide protection to specific buildings ; or*
- *Area-wide assessment through architectural conservation area assessment or the development of forward planning frameworks lead to the need to protect key character areas and/or buildings.'*

4. STATUTORY PROVISIONS

The following statutory provisions are relevant:

Planning and Development Act 2000 (as amended) (section)

- o Section 2 (1) *"In this Act, except where the context otherwise requires ...'development' has the meaning assigned to it by section 3... " and "'Works' includes any act or operation of construction, excavation , demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure."*
- o Section 3 (1) *"In this Act, 'development' means, except where the context otherwise requires, the carrying out of works on, in, over or under land or the making of any material change in the use of any structures or other land."*
- o Section 4 (2) Provides that the Minister may, by regulations, provide for any class of development to be exempted development. The

principal regulations made under this provision are the Planning and Development Regulations 2001, as amended.

Section 57 (1) F211 F211[Notwithstanding section 4(1)(a), (h), (i), F212[(ia) (j), (k), or (l) and any regulations made under section 4(2),] the carrying out of works to a protected structure, or a proposed protected structure, shall be exempted development only if those works would not materially affect the character of-

- a) The structure, or
- b) Any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

Section 82 (1) F208 [Notwithstanding paragraph (a), (h), (i), (ia), (j), (k) or (l) of section 4(1), or any regulations made under section 4(2)] the carrying out of works to the exterior of a structure located in an architectural conservation area shall be exempted development only if those works would not materially affect the character of the area.

Planning and Development Regulations 2001 (as amended) (article)

Article 6 (1) *"Subject to article 7, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1."*

Article 9 (1) *"Development to which article 6 relates shall not be exempted development for the purposes of the Act-*

(a) if the carrying out of such development would-

(i) contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act,

(xii) further to the provisions of section 82 of the Act, consist of or comprise the carrying out of works to the exterior of a structure, where the structure concerned is located within an architectural conservation area or an area specified as an architectural conservation area in the development plan for the area or, pending the variation of a development plan or the making of a

new development plan, in the draft variation of the development plan or the draft development plan and the development would materially affect the character of the area.

5. PLANNING ASSESSMENT

The Structural Planning Report attached to the application states that the purpose of this proposal is to seek declarations of exempted development which will allow the applicant carry out essential roof repairs, it will also involve some minor internal layout modifications to the third floor to provide adequate fire safety separation and safe maintenance and inspection access by the installation of a new stairs in the attic space.

A summary of the proposed works is set out here under,

- Repair of the existing roof finish carefully retaining and re-using existing slates and retaining existing roof structure fabric to the maximum extent possible, by means of scarf joints to deteriorated roof timbers etc. Where new material is required, closely matching material, including natural slate, lead flashing, clay bricks shall be used.*
- Removal of defunct services penetrations (vent pipes etc.) through the roof*
- Reinstatement of historic/original roof profile on the north west corner, to replace the existing flat roofed plant area.*
- Removal of all defunct plant from the flat roofed plant areas.*
- Removal of all fibre cement and asbestos cement slates and replacement with natural slates to match the existing, as described above.*
- Minor internal layout modifications to the third-floor plan to provide adequate fire safety separation and safe maintenance and inspection access by installation of a new stairs to the attic space.*
- All works proposed shall be carried out under supervision of Scott Tallon Walker Architects and Curtins Structural Engineers, currently overseeing works to the adjacent Malting Tower building known as 'Phase 3 Building (Pl. Reg. Ref. 18/38075).*

Having inspected the site I am of the opinion that the majority of the works are exempted development as they would not materially alter the appearance of the building as per article 4 (1) h of the Planning and Development Act 2000 (as amended)

However as the proposal involves works to a protected structure additional scrutiny is required therefore this must be considered in accordance with Section 57 of the Planning and Development Act 2000 (as amended).

Section 57(1) of the Planning and Development Act 2000 (as amended) states:

Notwithstanding section 4(1)(a), (h), (i), (j), (k), or (l) and any regulations made under section 4(2), the carrying out of works to a protected structure, or a proposed protected structure, shall be exempted development only if those works would not materially affect the character of:-

- c) The structure, or*
- d) Any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural,*

scientific, social or technical interest.

The only significant material change to the structure is the removal of the flat roof extension and reinstatement of the original roof line.

Whilst this may alter the appearance of the building I would assert that it does not materially alter it as it is an inconspicuous by reason of its location in the north west corner and it somewhat obscured by the remainder of the building and indeed by the modern context in which the building sits between a number of substantial modern buildings, there are only fleeting views available of the current flat roof extension when travelling along the quays, standing on St Vincents Bridge or from the former distillery site.

The proposal represents an improvement on the existing elevation.

Having considered all these matter I am satisfied that the proposed works would not materially affect the character of the protected structure or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

Recommendation

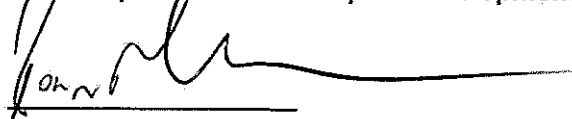
Having regard to

- The particulars received by the Planning Authority on 07/05/2020
- Section 57(1) of the Planning and Development Act 2000 (as amended)

It is considered that

- Repair of the existing roof finish carefully retaining and re-using existing slates and retaining existing roof structure fabric to the maximum extent possible, by means of scarf joints to deteriorated roof timbers etc. Where new material is required, closely matching material, including natural slate, lead flashing, clay bricks shall be used.
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Is Development and Is Exempted Development.



Ronan Mac Kernan
Senior Executive Planner

12/06/2020

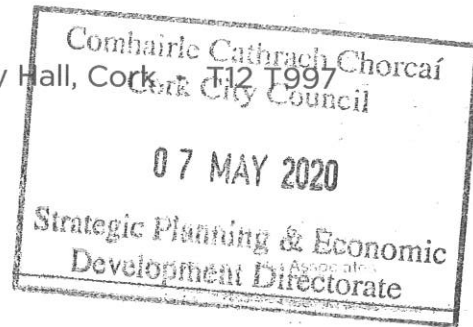


Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork, T12 T997

The Secretary
Planning Department
Planning & Economic Development Directorate
Cork City Council
City Hall
Cork

05 May 2020



SECTION 5 DECLARATION APPLICATION - COVER LETTER

RE: Please advise the opinion of the Planning Authority on the following proposed building fabric conservation works considered to be exempt from the requirement of planning permission.

- Repair of the existing roof finish carefully retaining and re-using existing slates and retaining existing roof structure fabric to the maximum extent possible, by means of scarf joints to deteriorated roof timbers etc. Where new material is required, closely matching material, including natural slate, lead flashing, clay bricks shall be used.
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- All works proposed shall be carried out under supervision of Scott Tallon Walker Architects and Curtins Structural Engineers, currently overseeing works to the adjacent Malting Tower building known as 'Phase 3 Building (Pl. Reg. Ref. 18/38075).

Dear Sir or Madam

On behalf of University College Cork we wish to apply for a Section 5 Declaration with respect to proposed urgent roof repair works to a building known as 'Block 1' at the Tyndall National Institute, Lee Maltings, Dyke Parade and Prospect Row, Cork, a former mill building which is currently in use as offices and laboratories, and which is a protected structure.

We enclose the following drawings and documents

- 2 copies Section 5 Declaration Application form
- 2 copies Architects' drawings
- 2 copies Architect's Inspection Report
- 2 copies Structural Engineer's Report
- 2 copies of a drawing by Gladys Leach
- Application Fee €80 has been paid by EFT (copy of correspondence re. payment is enclosed)

We consider the proposed works to be exempt from the requirement of planning permission and we would be grateful for your confirmation that the Planning Authority are of the same opinion.

We trust that the documents enclosed, explain in sufficient detail the background and nature of the proposed works and demonstrate they are justified and appropriate for the proper maintenance of this building.

If you have any queries in relation to this application please do not hesitate to contact the undersigned.

Yours faithfully

William Walsh MRIAI
B.Arch(Hons) B.Sc(Arch) Accredited in Conservation at Grade 3

Associate
Scott Tallon Walker Architects

Encls.



We are Cork.

**COMHAIRLE CATHRACH CHORCAÍ
CORK CITY COUNCIL**

Community, Culture & Placemaking Directorate,
Cork City Council, City Hall, Anglesea Street, Cork.

R-Post/E-Mail: planning@ccorkcity.ie

Fóin: **Community Culture & Placemaking**
Líonra/Web: www.corkcity.ie

SECTION 5 DECLARATION APPLICATION FORM
under Section 5 of the Planning & Development Acts 2000 (as amended)

07 MAY 2020

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1. POSTAL ADDRESS OF LAND OR STRUCTURE FOR WHICH DECLARATION IS SOUGHT

'Phase 1 Building', Tyndall National Institute, Lee Maltings, Dyke Parade and Prospect Row, Cork.

2. QUESTION/ DECLARATION DETAILS

PLEASE STATE THE SPECIFIC QUESTION FOR WHICH A DECLARATION IS SOUGHT:

Sample Question: *Is the construction of a shed at No 1 Wall St, Cork development and if so, is it exempted development?*

Note: only works listed and described under this section will be assessed under the section 5 declaration.

Dear Sir/Madam

Please advise the opinion of the Planning Authority on the following proposed building fabric conservation works considered to be exempt from the requirement of planning permission.

- Repair of the existing roof finish carefully retaining and re-using existing slates and retaining existing roof structure fabric to the maximum extent possible, by means of scarf joints to deteriorated roof timbers etc. Where new material is required, closely matching material, including natural slate, lead flashing, clay bricks shall be used.

ADDITIONAL DETAILS REGARDING QUESTION/ WORKS/ DEVELOPMENT:

(Use additional sheets if required).

Contd.

- Removal of defunct services penetrations (vent pipes etc.) through the roof.
- Reinstatement of historic/original roof profile on the north west corner, to replace the existing flat roofed plant area.
- Removal of all defunct plant from the flat roofed plant areas.
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- All works proposed shall be carried out under supervision of Scott Tallon Walker Architects and Curtins Structural Engineers, currently overseeing works to the adjacent Malting Tower building known as 'Phase 3 Building (Pl. Reg. Ref. 18/38075).

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3. Are you aware of any enforcement proceedings connected to this site?

If so please supply details:

N/A

4. Is this a Protected Structure or within the curtilage of a Protected Structure? Yes

If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 been requested or issued for the property by the Planning Authority? No

5. Was there previous relevant planning application/s on this site?

If so please supply details:

N/A - There are no previous applications for this building.

6. APPLICATION DETAILS

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square meters (sq. M)

(a) Floor area of existing/proposed structure/s	c. 1,260 sq m existing (no new floor area proposed)
(b) If a domestic extension, have any previous extensions/structures been erected at this location after 1 st October, 1964, (including those for which planning permission has been obtained)?	Yes <input type="checkbox"/> No <input type="checkbox"/> If yes, please provide floor areas. (sq m) N/A
(c) If concerning a change of use of land and / or building(s), please state the following:	
Existing/ previous use (please circle) N/A	Proposed/existing use (please circle) N/A

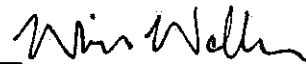
8. LEGAL INTEREST

Please tick appropriate box to show applicant's legal interest in the land or structure	A. Owner <input checked="" type="checkbox"/>	B. Other <input type="checkbox"/>
Where legal interest is 'Other', please state your interest in the land/structure in question	N/A	
If you are not the legal owner, please state the name and address of the owner if available	N/A	

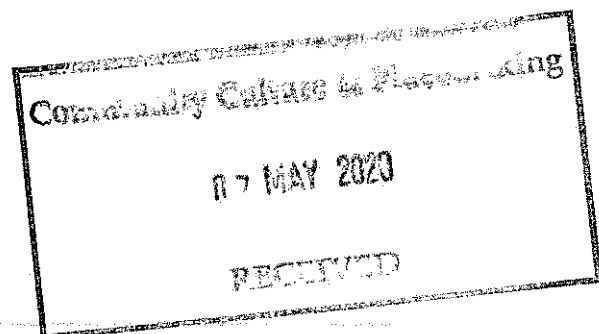
9.1 / We confirm that the information contained in the application is true and accurate:

Will Walsh MRIAI, Scott Tallon Walker Architects,

Signature: Accredited in Conservation at Grade III



Date: 9th April 2020



CONTACT DETAILS

10. Applicant:

Name(s)	[REDACTED]
Address	[REDACTED] ----- ----- -----

11. Person/Agent acting on behalf of the Applicant (if any):

Name(s):	Mr. Will Walsh, Architect, MRIAI	
Address:	Scott Tallon Walker Architects ----- 72 South Mall ----- Cork -----	
Telephone:	[REDACTED]	
E-mail address:	[REDACTED]	
Should all correspondence be sent to the above address? <small>(Please note that if the answer is 'No', all correspondence will be sent to the Applicant's address)</small>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>

12. ADDITIONAL CONTACT DETAILS

The provision of additional contact information such as email addresses or phone numbers is voluntary and will only be used by the Planning Authority to contact you should it be deemed necessary for the purposes of administering the application.

ADVISORY NOTES:

<p>The application must be accompanied by the required fee of €80.</p> <p>The application should be accompanied by a site location map which is based on the Ordnance Survey map for the area, is a scale not less than 1:1000 and it shall clearly identify the site in question.</p> <p>Sufficient information should be submitted to enable the Planning Authority to make a decision. If applicable, any plans submitted should be to scale and based on an accurate survey of the lands/structure in question.</p> <p><i>The application should be sent to the following address:</i></p> <p style="text-align: center;">The Development Management Section, Community, Culture & Placemaking Directorate, Cork City Council, City Hall, Anglesea Street, Cork.</p>

CONTACT LIST

11/15/2011

[REDACTED]
[REDACTED]

The following information was obtained from the database on 11/15/2011. This information is provided for your information only. It is not intended to be used for any other purpose. If you have any questions regarding this information, please contact the appropriate department.

[REDACTED]
[REDACTED]

[REDACTED]
[REDACTED]

The following information was obtained from the database on 11/15/2011. This information is provided for your information only. It is not intended to be used for any other purpose. If you have any questions regarding this information, please contact the appropriate department.

The following information was obtained from the database on 11/15/2011. This information is provided for your information only. It is not intended to be used for any other purpose. If you have any questions regarding this information, please contact the appropriate department.

401/808/4-5727

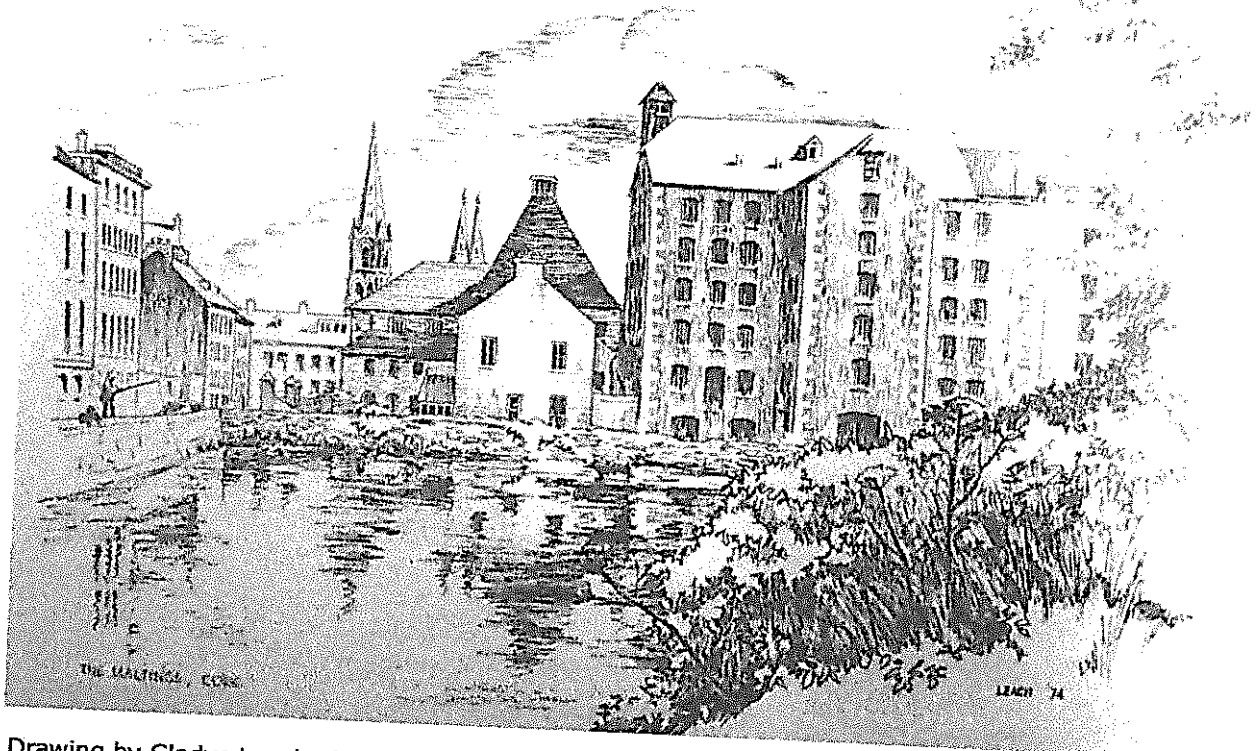
The following information was obtained from the database on 11/15/2011. This information is provided for your information only. It is not intended to be used for any other purpose. If you have any questions regarding this information, please contact the appropriate department.

- The Planning Authority may require further information to be submitted to enable the authority to issue the declaration.
- The Planning Authority may request other person(s) other than the applicant to submit information on the question which has arisen and on which the declaration is sought.
- Any person issued with a declaration may on payment to An Bord Pleanála refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.
- In the event that no declaration is issued by the Planning Authority, any person who made a request may on payment to the Board of such a fee as may be prescribed, refer the question for decision to the Board within 4 weeks of the date that a declaration was due to be issued by the Planning Authority.

The application form and advisory notes are non-statutory documents prepared by Cork City Council for the purpose of advising as to the type information is normally required to enable the Planning Authority to issue a declaration under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations 2001 as amended.

DATA PROTECTION: The use of the personal details of planning applicants, including for marketing purposes, may be unlawful under the Data Protection Act 1988-2003 and may result in action by the Data Protection Commissioner against the sender, including prosecution.

Community Culture & Placemaking
07 MAY 2020
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Drawing by Gladys Leach, dated 1974, of the Lee Maltings (building subject of this application)

Note the form of the roof at the north east corner (right hand side of this elevation) where it is propose to re-instate the roof profile, removing a now redundant area of flat roof previously used for building services.

Community Culture & Placemaking

07 MAY 2020

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UCC-Tyndall Phase 3a Report

Scope Document for Roof Repair

Curtins Ref: 067579

Revision: V01

Issue Date: 28 January 2020

Client Name: UCC Tyndall

Client Address: University College Cork, Gaol Walk, University College Cork. T12 YN60

Site Address: UCC Tyndall National Institute, Lee Maltings Complex, Dyke Parade, Cork, T12 R5CP, Ireland


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Rev	Description	Issued by	Checked	Date
00	Issue for Information	ZG	ZG	21/01/2020

This report has been prepared for the sole benefit, use, and information for the client. The liability of Curtins Consulting Limited with respect to the information contained in the report will not extend to any third party.

Author	Signature	Date
Zachary Guidera BEng, BEng(Hons) MIEI Project Engineer		21/01/2020


Reviewed	Signature	Date
Diarmuid Healy BEng(Hons) CEng MIEI MStructE Technical Director		21/01/2020

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1.0 Brief

Curtins have been requested to attend site to inspect the existing roof to Block 1 to determine the scope of works for the repair and refurbishment of the existing roof fabric. The architectural report outlines the brief which UCC have put forward to the design team to allow us to progress the scope of works for pricing from Summerhill Construction. This report is to be read in conjunction with any relevant information submitted to UCC.

This report and its findings have been documented for the sole use for UCC and the content should not be used by any third party without the expressed permission in writing of Curtins

Where this report is referred to, or used as the basis of proceeding with alteration works 1 year after the survey date of said report, we reserve the right to re-inspect the property to confirm that the conclusions and recommendations remain valid, and any change in the condition of the property has not altered the original recommendations. In undertaking such further investigations Curtins reserve the right to charge additional fees, the cost of which will be advised prior to conducting the inspections.



Figure 1: Tyndall Phase 1 Roof. (Image Courtesy of UCC)

1.1 Limitations

No structural analysis was undertaken as part of this commission. In the time, available we have not undertaken any testing of materials or structural elements. Instead we have advanced our opinion and conclusions based on our extensive experience of conducting structural appraisals and assessments of similar properties

No opening-up of the building fabric or removal of finishes to facilitate further inspection was undertaken during the course of this inspection. The inspection did not include for examination of the structure below the 4th floor although general comment may be made on these elements. The inspection does not include a dimensional survey of the structure.

Curtins have previously attended site In July of 2018 to assess the existing structural condition of the roof, the Conclusions of this report has been attached for reference. Analysis was undertaken of the existing trusses at that time for use with a proposed brief. This analysis is referenced to and general opinion is forwarded on the intended use.

Due to the time difference between the reports and the active ingress of water previous report will be used for reference only as the existing condition has deteriorated since that report was carried out.

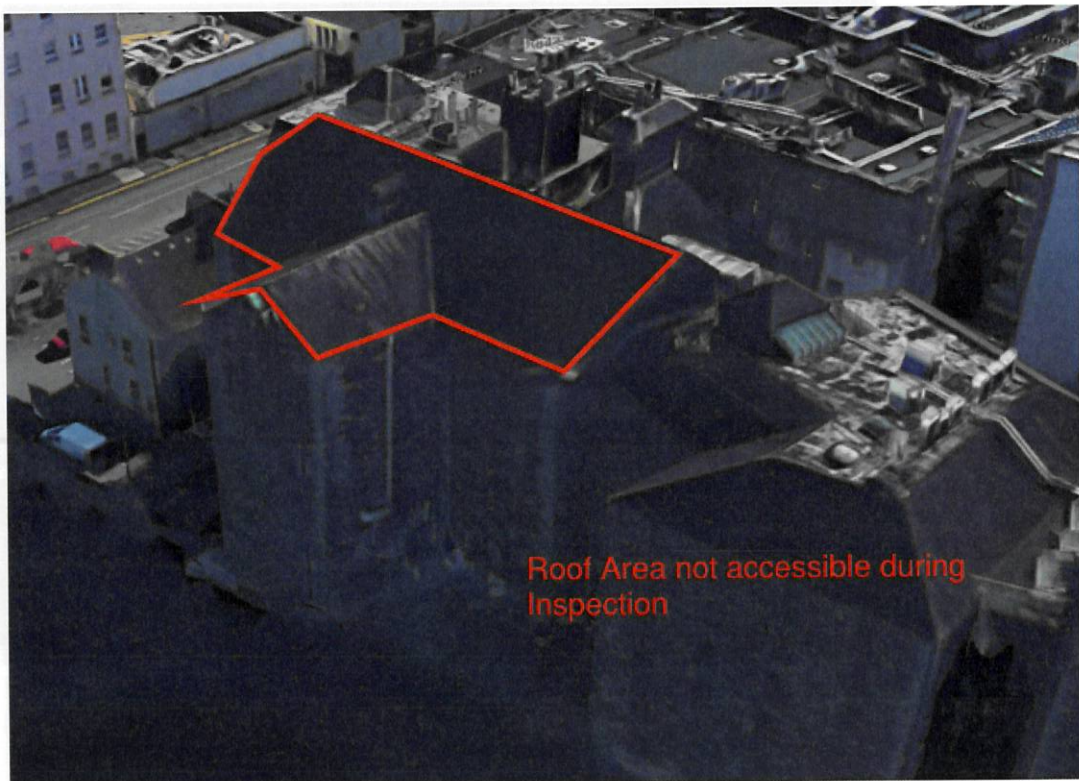


Figure 2: Area Not Accessible During Inspection

2.0 Notes from Inspection

Generally, the roof is in structurally good condition with minor repairs and interventions required. Works which require most attention are primarily the roof rafters and noted sections of purlin.

The roof finishes and secondary structure were repaired significantly following a fire in 1983. The primary structure has been repaired or strengthened with steelwork intervention. Some Trusses noted have been interfered with and require repair. Images from the report are noted in the attached site inspection.

2.1 Water Ingress

- Timber rafters are significantly rotted and show signs of extensive water damage.
- Areas of roof have begun to sag where moisture content within the timber has increased causing excessive deflection.
- Repair is required where purlins are showing signs of distress/water ingress.
- Water ponding on roof to plant area.

2.2 Existing penetrations

- The ceiling to the lower floor has extensive penetrations. Repair is required to safely access the area.
- Opening to new access stair to be trimmed.

2.3 Existing structural Issues

- Repair to timber trusses where bracing members have been removed.
- Masonry is visually in good condition, but further investigation is required to confirm if water ingress has had an adverse effect as survey is based on visual inspection only.
- Plant area roof is in good condition requiring only minor repairs.

2.4 Access

- Access to the roof for repair will require special attentions as roof is enclosed by other structures adjoining the phase 1 building.

3.0 Repair to Existing Roof.

Due to the scope forwarded from UCC the proposed works is limited to the repair of the existing roof to a state of good condition.

The repairs to the roof envelope are subject to the architectural specification and can be found outlined in the architectural report forwarded by STW. Structurally the repairs can be identified into localised categories outlined below.

It is likely the roof in areas adjacent to timber affect by rot will require specialised rot treatment to mitigate the future risk of the affected areas spreading through the repaired roof.

3.1 Rafter Repair

Rafter repair is significantly the bulk of the repairs which need to be undertaken to make the roof envelope fit for purpose. Rafter repair will be required in the form of strengthening /replacing existing rafters where areas affected by rot can be removed and the existing rafter remain or needs to be replaced. Visual inspection will be required to identify the areas with the contractor which sections are to be repaired and which are to be replaced.

3.2 Purlin Repair

Sections of purlin have been affected by localised rot and require strengthening works to be fit for purpose. The repair involves the installation of angle to strengthen the timber with rotted sections removed completely and replaced with similar size and species of timber.

3.3 Wall Plate Repair

Repair is indicated to the existing wall plate. Opening up works will be required to determine full extent as the area is in accessible in areas. The repair will likely involve the replacement or treatment of the timber due to water damage. Rot treatment will be required.

3.4 Truss Repair

From the previous Curtins loading assessment of the exiting trusses it was identified that the trusses would experience significant deflections if the steel interventions is removed if the area is to change purpose to an occupied space. It is recommended to aid in future proofing the area, that the steel trussed remain in place ensure the area can be utilised later.

Some sections of trusses have been removed to allow installation plant. It is recommended that these areas be repaired to ensure no adverse loading is experienced by the timber truss.

3.5 Ceiling Joist Repair.

Localised areas of the floor which spans between the trusses have been removed. Although the area can be repaired in the temporary condition with localised infilled joist. If the future plan is to occupy the area, it is recommended that the existing floor be repaired in a manor that suits its traditional construction.

3.6 New Access Stair

New access stair is required to attic area. The proposed assess stair is intended to be constructed with timber stair to Architects specification and details. The structure to walls is intended to be 95x38 C16 @ 400mm ctrs. timber stud wall with 9mm plywood sheathing to one face. Fire protection to the wall is to the Architects specification and details. The structure is to be build off the existing concrete floor and restrained at the head to existing timber trusses. The stair is to be trimmed to the existing timber ceiling with steel beam spanning between the existing timber trusses and infilled with 195X38 C16 joists as required.

4.0 Appendices

Appendix A **Structural Site Report**

Appendix B **Extract Conclusion from Previous Curtins Report**

Appendix C **Structural Scope Drawings**

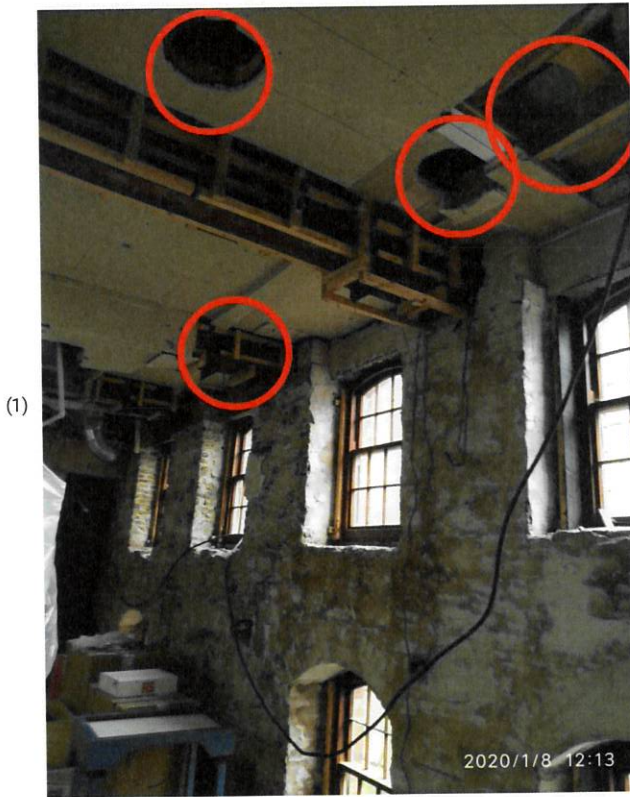
Appendix A Structural Site Report

Curtins have attended site to inspect the current condition and required repairs to the Phase 1 roof of the UCC Tyndall complex. The works have been included in the phase 3 package and will be noted as the phase 3a works.

The report is based on a visual inspection only and no destructive testing has been carried out.

The report outlines the findings on site with a summary noted below.

Significant amount of water damage noted to rafters.
areas of roof have begun to sag.
Repair required to existing trusses.
Columns supporting plant area require attention.
Water ponding on roof.
Significant penetrations to roof fabric noted.



UccT_SiteVisi_200109202600_1.jpeg

Created: Thu 09 Jan 20:26 2020

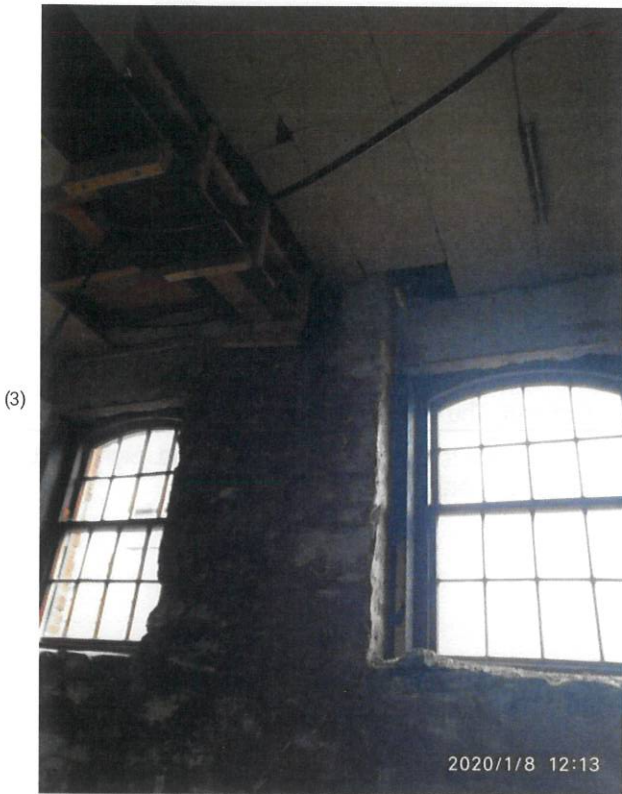
Holes in ceiling. Masonry is in generally good condition apart from water staining from water ingress. It is noted that further investigation will be required to confirm, as survey is based on visual inspection only and no destructive testing has been carried out.



UccT_SiteVisi_200109202559_7.jpeg

Created: Thu 09 Jan 20:25 2020

Holes in third floor. Masonry walls are generally in good condition with no adverse signs of water damage apart from. Water stain.



UccT_SiteVisi_200109202559_9.jpeg

Created: Thu 09 Jan 20:26 2020

Masonry in general good condition with no adverse signs of water damage apart from water stain.



UccT_SiteVisi_200109202600.jpeg

Created: Thu 09 Jan 20:26 2020

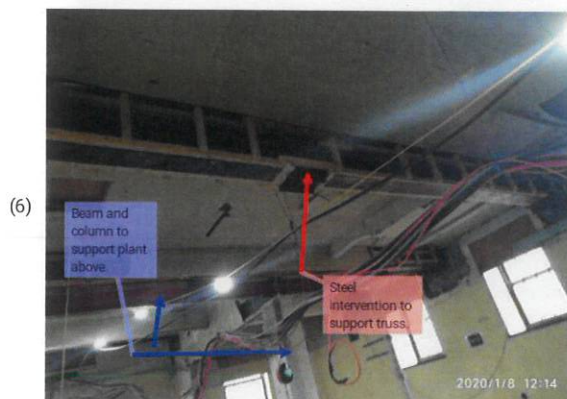
Holes in ceiling.



UccT_SiteVisi_200109202558_4.jpeg

Created: Thu 09 Jan 20:25 2020

Beam and columns in 3rd floor space.



UccT_SiteVisi_200109202559_3.jpeg

Created: Thu 09 Jan 20:25 2020

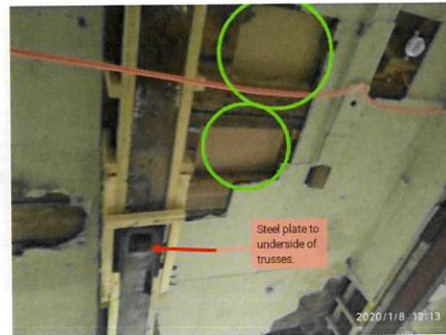
Steel work installed to support existing timber truss.



UccT_SiteVisi_200109202559_4.jpeg

Created: Thu 09 Jan 20:25 2020

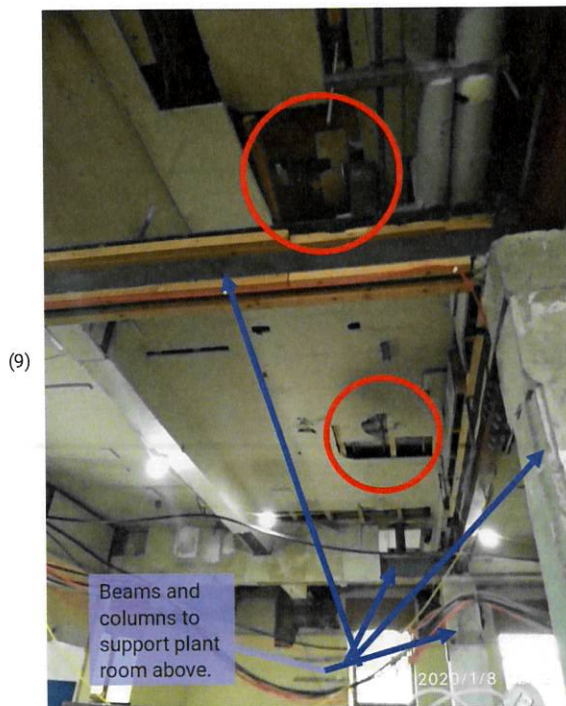
Underside of truss. No adverse deflection or warping out of plane. Truss is in good repair.



UccT_SiteVisi_200109202559_5.jpeg

Created: Thu 09 Jan 20:25 2020

Intervention to trusses. Steel plate noted. Significant openings noted in underside of 3rd floor.



UccT_SiteVisi_200109202559_6.jpeg

Created: Thu 09 Jan 20:25 2020

Beams and columns to locally support plant room above. Holes noted in ceiling.



UccT_SiteVisi_200109202559_8.jpeg

Created: Thu 09 Jan 20:25 2020

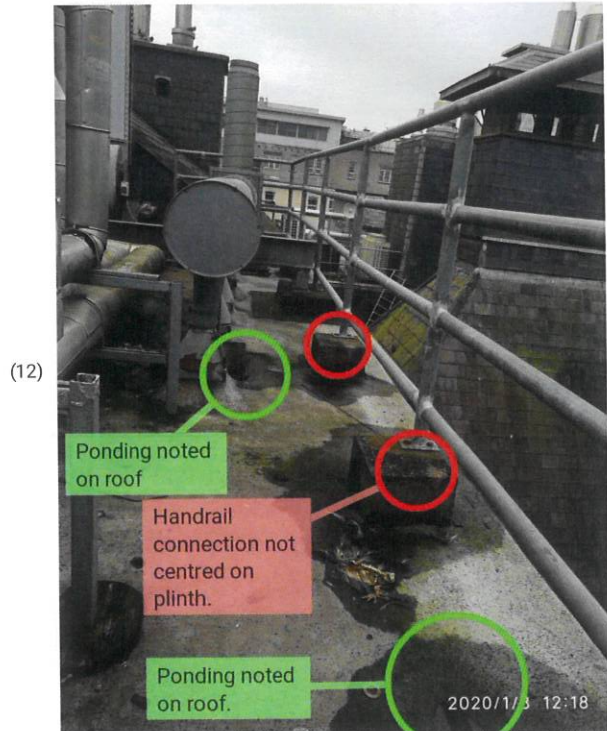
Columns to support upper plant room



UccT_SiteVisi_200109202555_8.jpeg

Created: Thu 09 Jan 20:25 2020

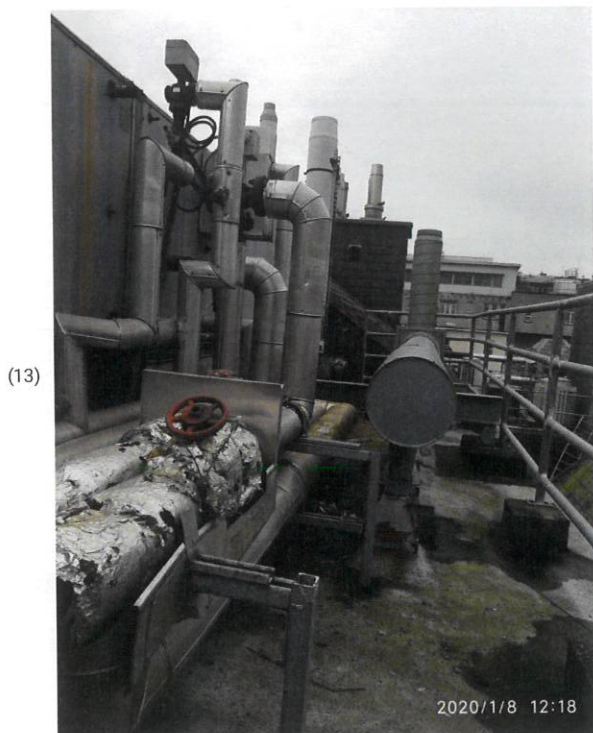
Plant to be removed.



UccT_SiteVisi_200109202558_2.jpeg

Created: Thu 09 Jan 20:25 2020

Plant to be removed.



UccT_SiteVisi_200109202558_3.jpeg

Created: Thu 09 Jan 20:25 2020

Plant to be removed.



UccT_SiteVisi_200109202559.jpeg

Created: Thu 09 Jan 20:25 2020

Fixings of plant through cap of upstand.

(15)



UccT_SiteVisi_200109202559_1.jpeg

Created: Thu 09 Jan 20:25 2020

(16)



UccT_SiteVisi_200109202559_2.jpeg

Created: Thu 09 Jan 20:25 2020

(17)



UccT_SiteVisi_200109202555_6.jpeg

Created: Thu 09 Jan 20:25 2020

Roof above enclosed plant area in reasonable condition. Minor repairs to slates required. No sagging in timber rafters noted in this area.

(18)



UccT_SiteVisi_200109202555_7.jpeg

Created: Thu 09 Jan 20:25 2020

Roof above enclosed plant area in reasonable condition. Minor repairs to slates required. No sagging in timber rafters noted in this area. Slates to check to be repaired.



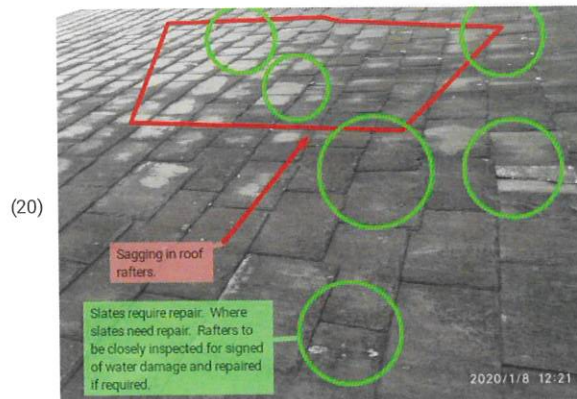
UccT_SiteVisi_200109202558_1.jpeg

Created: Thu 09 Jan 20:25 2020
Localised repair to roof cheek.



UccT_SiteVisi_200109202556_1.jpeg

Created: Thu 09 Jan 20:25 2020
Slates require repair. Where slates need repair. Rafter to be closely inspected for signs of water damage and repaired if required.



UccT_SiteVisi_200109202556.jpeg

Created: Thu 09 Jan 20:25 2020
Sagging in roof rafters noted in mid section of roof.



UccT_SiteVisi_200109202556_2.jpeg

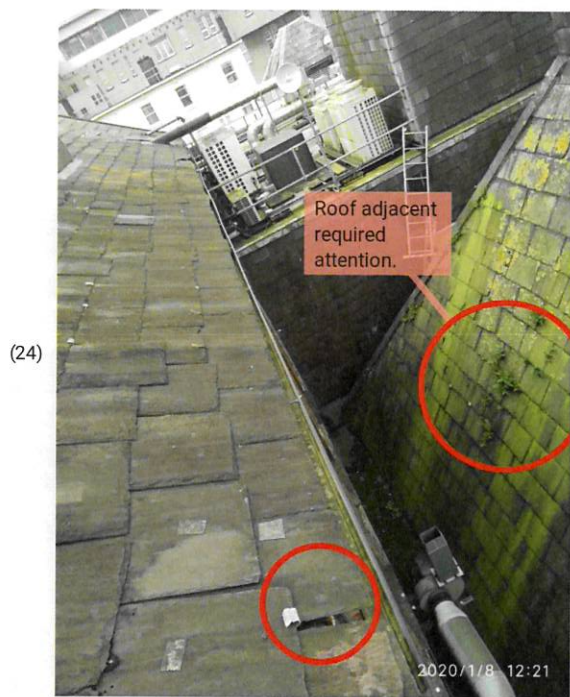
Created: Thu 09 Jan 20:25 2020
Sag noted in rafters.



UccT_SiteVisi_200109202556_3.jpeg

Created: Thu 09 Jan 20:25 2020

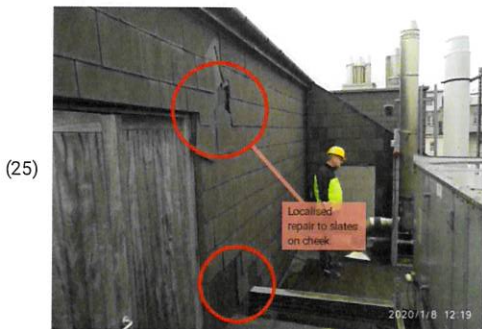
Slates require repair. Where slates need repair. Rafters to be closely inspected for signs of water damage and repaired if required.



UccT_SiteVisi_200109202556_4.jpeg

Created: Thu 09 Jan 20:25 2020

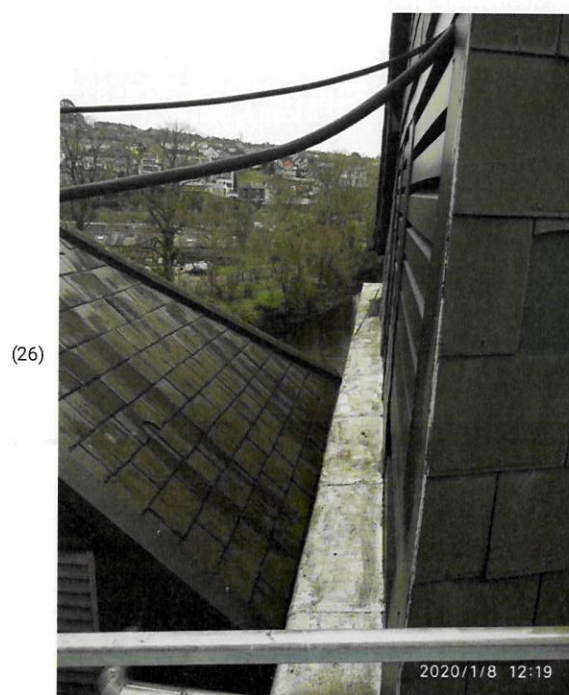
Roof adjacent required cleaning and repair to avoid similar works as per phase 3a



UccT_SiteVisi_200109202557.jpeg

Created: Thu 09 Jan 20:25 2020

Localised repair to slates on cheek.



UccT_SiteVisi_200109202558.jpeg

Created: Thu 09 Jan 20:25 2020

Elevation in good repair. No access to roof from river side.



UccT_SiteVisi_200109202555_1.jpeg

Created: Thu 09 Jan 20:25 2020

New roof over internal plant has been constructed with limited consideration to traditional method.



UccT_SiteVisi_200109202555_2.jpeg

Created: Thu 09 Jan 20:25 2020

Plant to be removed. Support shoe fixed to existing truss.



UccT_SiteVisi_200109202555_3.jpeg

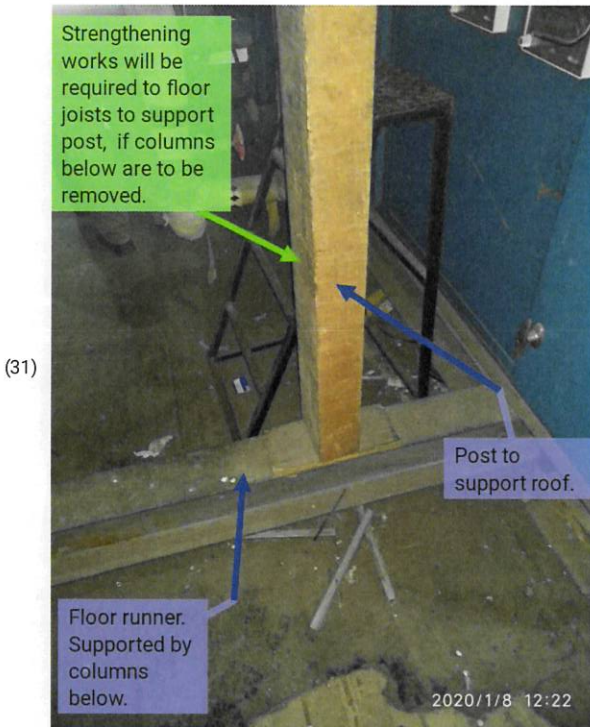
Created: Thu 09 Jan 20:25 2020

Infill study wall to form cheek of dormer roof. Timber is in good condition with limited repair required.



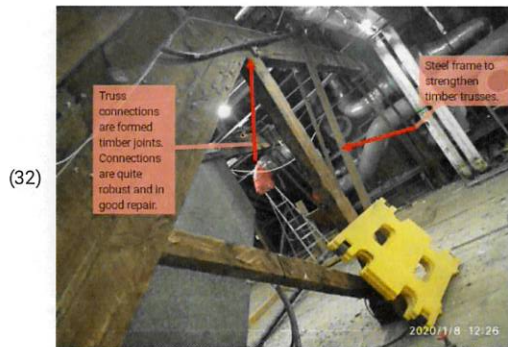
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Created: Thu 09 Jan 20:25 2020



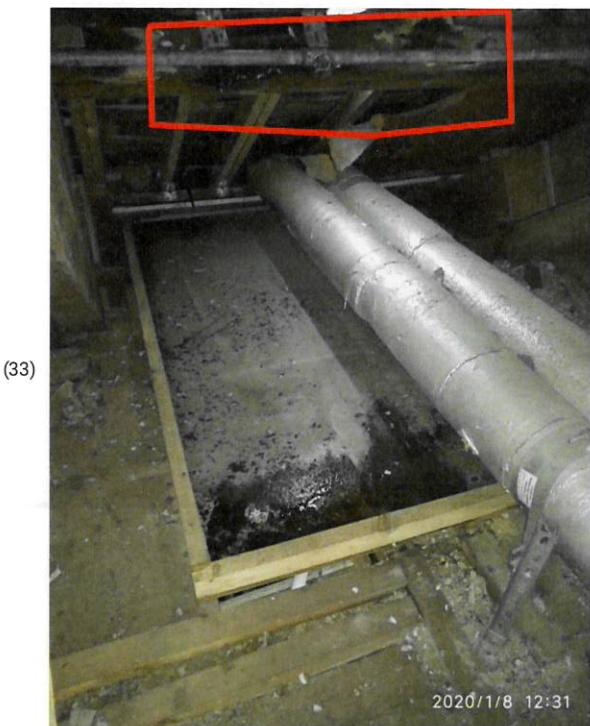
UccT_SiteVisi_200109202555_5.jpeg

Created: Thu 09 Jan 20:25 2020



UccT_SiteVisi_200109202554_1.jpeg

Created: Thu 09 Jan 20:25 2020



UccT_SiteVisi_200109202554.jpeg

Created: Thu 09 Jan 20:25 2020

Extensive watering rest with significant rot in timber rafters. Purlins are affected by the rot but are possibly salvageable with intervention strategy.



UccT_SiteVisi_200109202554_2.jpeg

Created: Thu 09 Jan 20:25 2020

Formed joint detail to support purlins.

(35)

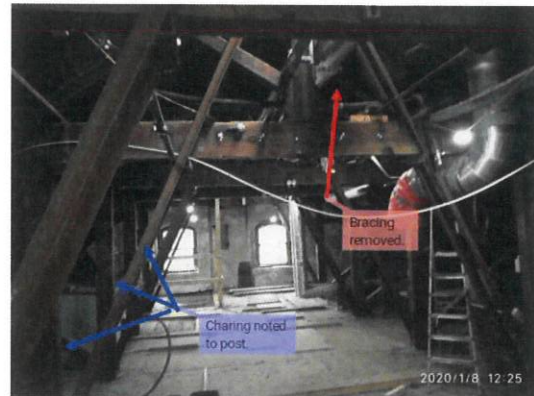


UccT_SiteVisi_200109202554_3.jpeg

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Steelwork to strengthen truss

(36)

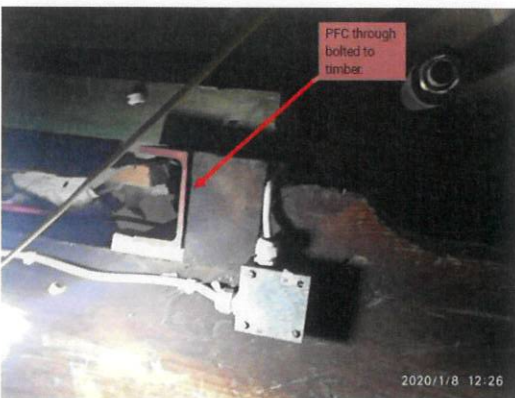


UccT_SiteVisi_200109202554_4.jpeg

Created: Thu 09 Jan 20:25 2020

Internal steel work to strengthen trusses. Trusses have been interfered with, user bracing has been removed in some areas. Charring from previous fire noted.

(37)

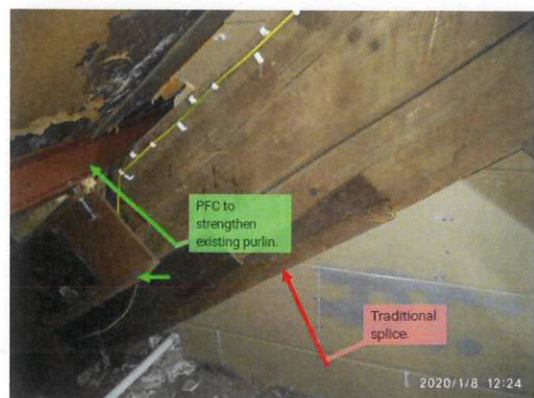


UccT_SiteVisi_200109202554_5.jpeg

Created: Thu 09 Jan 20:25 2020

Previous intervention and strengthen works have been carried out in past. Remedial have not been sensitive to the traditional method of construction.

(38)



UccT_SiteVisi_200109202555.jpeg

Created: Thu 09 Jan 20:25 2020

Previous intervention and strengthen works have been carried out in past. Remedial have not been sensitive to the traditional method of construction.

Appendix B Extract Conclusion from Previous Curtins Report

EXTRACT OF REPORT FOR REFERENCE ONLY. STRUCTURE HAS BEEN EXPOSED BEYOND THE 1 YEAR SCOPE OF THE INITIAL REPORT. CURTINS WILL REQUIRE ADDITIONAL SURVEY AND ANALYSIS TO CONFIRM REPORT IS VALID.

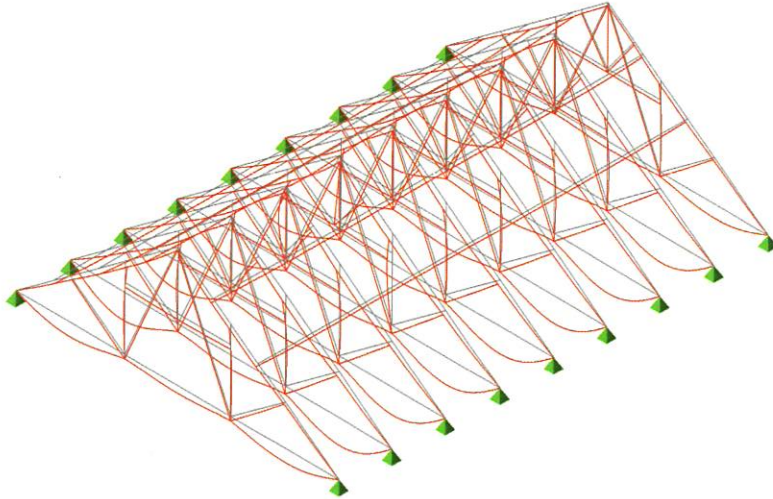


Image 6.4 - Deflection

8.0 Removal of plant support structure on level 3

From our visual inspection the additional support structure was introduced to support the plant room load from above. As such once this load is removed from above it will be possible to dismantle the support structure. Care should be taken, and a series of details developed to support the dismantling to ensure the truss will continue to perform as originally designed.

9.0 Conclusions

Based on the results and having assumed that the roof will be cleared up and the AHUs be removed we can confirm the following:

- Steel braces are essentials for the structural performance and cannot be eliminated.
- Analysis of timber trusses shows good behaviour for the proposed loadings moving forward.
- Connections between timber roof and supporting structure are noted to be robust.

Therefore, we can concur that the roof has the capacity to take the proposed future use which could be laboratories or lecture spaces. Minor improvement will be required at the construction stage to pick up comments noted in this report prior to construction.

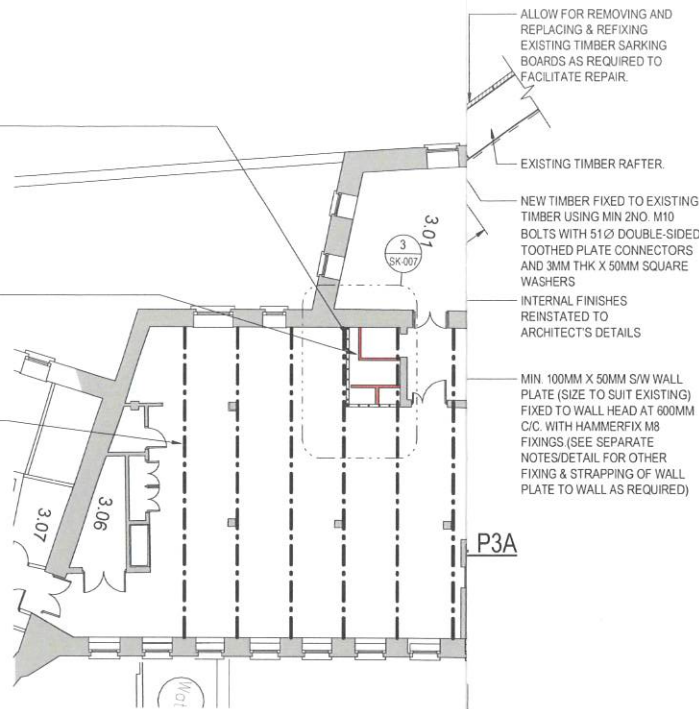
We can also confirm that columns located on the third floor are only giving support to the plant room above. This means that once this is removed from the roof, these columns are not necessary and can also be removed. It is likely some improvement works will be required to these trusses at this time to ensure the forces are transferred safely to the perimeter walls.

Appendix C Structural Scope Drawings

NEW TIMBER STUD WALLS TO ENCLOSE ACCESS STAIR. STUD WALL TO BE 95x38 C16 TIMBERS @ 400m CTRS. WITH 1 LAYER OF 12mm PLY TO ONE FACE. STUD TO BE FIXED TO EXISTING CONCRETE FLOOR AND SEPERATED WITH HEAVY DUTY DPC.

EXISTING WALLS TO BE REMOVED.

OUTLINE OF TRUSSES OVER HEAD



ALLOW FOR REMOVING AND REPLACING & REFIXING EXISTING TIMBER SARKING BOARDS AS REQUIRED TO FACILITATE REPAIR.

EXISTING TIMBER RAFTER

NEW TIMBER FIXED TO EXISTING TIMBER USING MIN 2NO. M10 BOLTS WITH 51 Ø DOUBLE-SIDED TOOTHED PLATE CONNECTORS AND 3MM THK X 50MM SQUARE WASHERS

INTERNAL FINISHES REINSTATED TO ARCHITECT'S DETAILS

MIN. 100MM X 50MM S/W WALL PLATE (SIZE TO SUIT EXISTING) FIXED TO WALL HEAD AT 600MM C/C WITH HAMMERFIX M8 FIXINGS (SEE SEPARATE NOTES/DETAIL FOR OTHER FIXING & STRAPPING OF WALL PLATE TO WALL AS REQUIRED)

PHASE 1 THIR

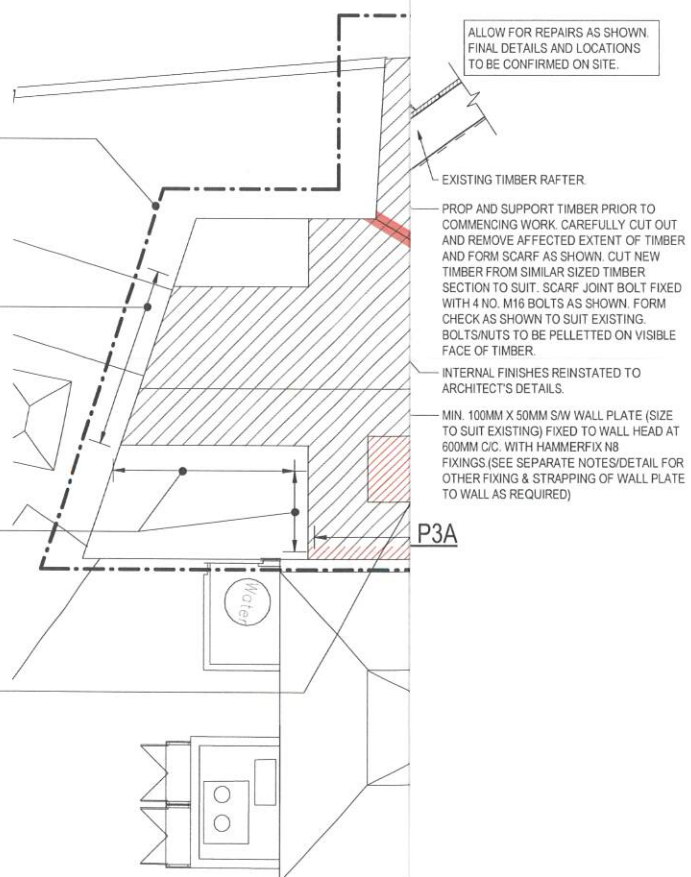
SCALE: 1:50
 SCALES EACH WITH 1NO. 51Ø TOOTHED BETWEEN TIMBER

OUTLINE OF BOUNDARY OF PROPOSED WORKS.

EXISTING GABLE TO BE REMOVED AND REPLACED WITH 150x45 C16 TIMBER STUD @ 400mm CTRS. WALL WITH 1 LAYER OF 12mm MARINE GRADE PLYWOOD TO EXTERNAL FACE. EXTERNAL WALL TO HAVE 38x25 C16 CROSS BATTENS TO SUIT ARCHITECTURAL ENVELOPE FINISHES.

EXISTING ROOF CHEEK WALLS TO BE REMOVED AND REPLACED WITH 150x45 C16 TIMBER STUD @ 400mm CTRS. WALL WITH 1 LAYER OF 12mm MARINE GRADE PLYWOOD TO EXTERNAL FACE. EXTERNAL WALL TO HAVE 38x25 C16 CROSS BATTENS TO SUIT ARCHITECTURAL ENVELOPE FINISHES.

SAG HAS BEEN IDENTIFIED OF RAFTER ON SITE. RAFTERS TO BE STRENGTHEN IN THIS AREA.



ALLOW FOR REPAIRS AS SHOWN. FINAL DETAILS AND LOCATIONS TO BE CONFIRMED ON SITE.

EXISTING TIMBER RAFTER

PROP AND SUPPORT TIMBER PRIOR TO COMMENCING WORK. CAREFULLY CUT OUT AND REMOVE AFFECTED EXTENT OF TIMBER AND FORM SCARF AS SHOWN. CUT NEW TIMBER FROM SIMILAR SIZED TIMBER SECTION TO SUIT. SCARF JOINT BOLT FIXED WITH 4 NO. M16 BOLTS AS SHOWN. FORM CHECK AS SHOWN TO SUIT EXISTING. BOLTS/NUTS TO BE PELLETED ON VISIBLE FACE OF TIMBER.

INTERNAL FINISHES REINSTATED TO ARCHITECT'S DETAILS.

MIN. 100MM X 50MM S/W WALL PLATE (SIZE TO SUIT EXISTING) FIXED TO WALL HEAD AT 600MM C/C WITH HAMMERFIX M8 FIXINGS (SEE SEPARATE NOTES/DETAIL FOR OTHER FIXING & STRAPPING OF WALL PLATE TO WALL AS REQUIRED)

GENERAL NOTES:

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS.
- DO NOT SCALE THIS DRAWING. ANY AMBIGUITIES, OMISSIONS AND ERRORS ON DRAWINGS SHALL BE BROUGHT TO THE ENGINEERS ATTENTION IMMEDIATELY. ALL DIMENSIONS MUST BE CHECKED / VERIFIED ON SITE.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
- FOR GENERAL NOTES REFER TO DRAWING.

PRICING NOTES.

CONTRACTOR TO ALLOW FOR THE FOLLOWING FOR COSTING. THIS IS A NON EXHAUSTIVE LIST AND CAN ONLY BE CONFIRMED PENDING INSTOPACTION OF THE OPENING UP OF WORKS ON SITE. THE FOLLOWING HAS BEEN BASED ON VISIAL INSPECTION ONLY.

EXISTION WALL PLATE

AN ALLOWANCE FOR REPLACEMENT OF LEANEAR METERS OF EXISTING WALL PLATE AND ASSOCIATED RAFTER END WORKS TO FACILITATE REPAIR.

RAFTER END REPAIRS

CONTRACTOR IS TO ALLOW FOR 50 NUMBER RAFTER END REPAIR TO EXISTING WALL WALL PLATE.

RAFTER SPLICE / PURLIN SPLICE

AN ALLOWANCE FOR 60 NUMBER RAFTER SPLICE DETAILS. AND 6 NUMBER PURLIN SPLICES.

RAFTER SCARF DETAIL

ALLOW FOR 20 NUMBER SCARF END REPAIR DETAILS.

Rev.	Description	Date	By	Chkd.
------	-------------	------	----	-------



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INFORMATION

Project: **UCC TYNDALL INSTITUTE - PHASE 3**

Dwg Title: **PHASE 3A REPAIRS TO PHASE 1 ROOF SCOPE**

Size	Date	Drawn By	Designed By	Checked By
A1	28.01.2020	Z.A.G.	Z.A.G.	Z.A.G.

Scale: As indicated

Project No.	Originator	Zone	Level	Type	Discipline	Category / Number	Rev.
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18003 UCC Tyndall

Address: Mardyke, Cork

Generated On: 27/02/2020

Generated By: Tony Gannon

Building Stage: Scope of Works



UCC Tyndall



SITE INSPECTION REPORT NO.: 18003_Block 1


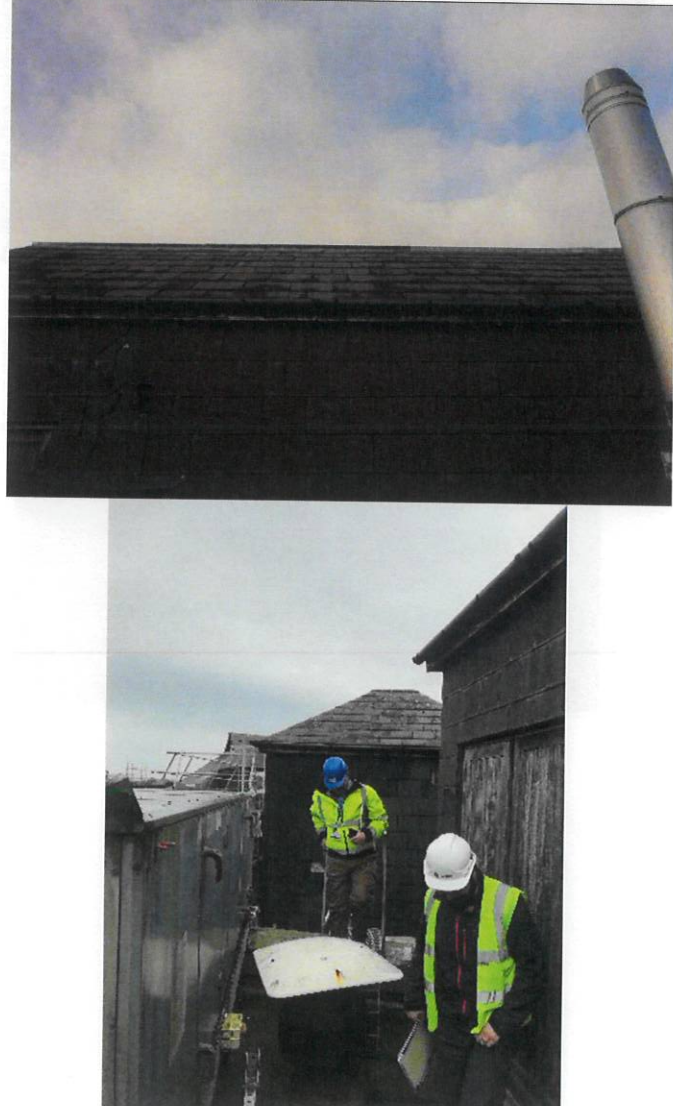
Inspection Date:	Inspection Time:	Inspector:	Signed:
08/01/2020	11.00	Tony Gannon	
27/02/2020	12.30	Tony Gannon	




Area/ Element Inspected:
<p>UCC/Tyndall requested an inspection of the existing roof to Block 1, to determine a scope of works for the repair and refinishing of the existing roof fabric. Preliminary inspection shows evidence of significant deterioration. There is evidence of water ingress and show signs of rot.</p> <p>The primary structure of large 'King Post Trusses' and preliminary inspection by Zach Guidera noted as being in good repair. The roof finish was repaired and refinished following a fire in 1983, though the primary structure was retained by means of additional structural elements which remain to date.</p> <p>A preliminary brief as discussed is to determine the best method of repairing and/or replacement of the finishes and secondary structure while retaining the primary structure, the removal of existing redundant plant (by others) and fitting of new finishes and secondary structure throughout.</p> <p>It was also discussed for a new staircase to access the attic space could be constructed from the existing 3RD floor stair landing to the attic area as currently the area is accessed by a ladder.</p> <p>It is clear from this inspection that significant areas of the roof covering have failed to the extent that water is penetrating the area and slates have slipped which could if not remedied would lead to further deterioration and risk to the surrounding buildings. There is evidence both internally and externally that ongoing 'piecemeal' repairs have been carried-out, but this form of repair would not be economic in the overall plan for the buildings.</p> <p>Photographs have been furnished by UCC taken from a drome which show externally that large areas of the slating have slipped mainly to the southern roof, and this area due to its height and its proximity to adjoining buildings would make it challenging to carry out localised repairs.</p> <p>The location of the building abutting adjoining buildings to the south and the west and the River Lee to the north requires an imaginative approach to carrying out the proposed works while keeping the areas around safe for the campus staff. Specialist scaffolding would need to be erected to all faces of the building to allow for the removal of the existing finishes and the erection of the proposed upgraded finishes</p>
Findings:



- Inspection of the interior shows that the fabric has failed, and water-ingress has occurred.
- There are signs of rot evident in the space as well as bird droppings and possible vermin
- There are areas of the ceiling to the 4th floor which are missing, and this is a fire consideration and requires attention.
- Externally gutters are over-grown, and rust is evident, and all goods require replacement.
- Slating has slipped and in areas is missing and close inspection of the slates show that they are in poor condition.
- Hips and valleys will require replacement.
- Most of the existing services are noted as redundant and will be removed prior to new finishes being installed. Some services will remain and will need to be noted, and these elements will need to be re-weathered properly during the roof works.
- Single dormer to northern roof will require rebuilding
- Integrity of the blockwork enclosure around chimney/vents requires attention to maintain fire separation
- Currently there are sprinklers in the ceiling void which are non-functional and require removal/reinstatement client and fire consultant to advise.

Description	Photo	Issue
<p>Fig.1 This image shows the entire roof facing north.</p>	 <p>Enclosure around existing vents to be assessed for integrity. To provide for future additional flues it is proposed to allow 2/3 300mm sleeves through new cap. Final proposal to be agreed. Face of enclosure to receive a zinc rainscreen finish.</p>	<p>To the southwest of the roof the existing plant is proposed to be removed prior to the proposed roof works To southern roof the existing chimney housing and enclosure is proposed stripped back to ascertain the condition.</p>
<p>Fig. 2 North/East Roof (Riverside)</p>		<p>This image shows the tile slippage of the northeast face of the roof. Evidence of slippage is clear and furthermore there are signs of repairs which has been carried out</p>

		
<p>Fig.3 South/East Roof (Mardke Side)</p>		<p>This image shows the tile slippage of the South/East face of the roof. Evidence of slippage is pronounced and the area at the existing eaves shows significant water ingress within the roof space.</p>

<p>Fig. 4 Western gable</p>		<p>Evidence of rotten damaged timbers requiring replacement. Existing gable is uninsulated also and should be rebuilt and insulated. New proprietary aluminium louvre with insect mesh to be fitted into new wall.</p>
<p>Fig. 5 Southwest plant area</p>		<p>Area of the original roof has been removed in the past and an area of plant and flat roof constructed. This area requires attention and should be rebuilt as wall is un-insulated. 'Truetone' slates are damaged and not in keeping with the general slating of the building.</p> <p>Slates are possibly asbestos are will require licenced removal and disposal.</p>

<p>Fig. 6 Internal spaces</p>		<p>Timber boarding within space require a degree of repair with some boarding loose and/or missing</p>
<p>Fig. 7 Internal spaces</p>		<p>Services and plant to be removed by another contractor prior to roof works commencing</p>
<p>Fig. 8 Internal spaces</p>		<p>Repairs previously carried out to be inspected as works proceed</p>

		
<p>Fig. 9 Internal spaces</p>		<p>Evidence of water ingress.</p>




		
<p>Fig. 10 Rot Noted</p>		<p>Area of timber rot noted.to be treated/repared and/or replaced</p>
<p>Fig. 11 Masonry repairs required</p>		<p>It was notes around some of the window heads and at wallplate some masonry repairs are required</p>

Fig. 12
Roof Plant



Existing plant to southwestern flat roof area to be removed and flat roof to be recovered.

Provision for a drop down area and an access hatch to 3rd floor area. 'Bilco Type 'D'' or similar approved 2.4mx2.4m access hatch.

Fig.13
Fire
Ceilings



Fire board encasement to ceiling of level 4 requires attention

Fire protection to steel structure to be reinstated and openings in floors to be framed out with fire separation to floor above – refer to attached drawings

Fig.14
Gutters and
downpipes



Gutters overgrown and rusted and require replacement



Fig.15



View of the eastern gable of roof showing proximity to adjoining occupied buildings

Scope of Works

- 1.01 The current roof covering is in poor condition. There are areas of missing and damaged slating as well as damaged timbers. The location of the building near occupied buildings and bordered on the north by the River Lee adds for additional challenge for the proposed works.

The inspection of the area shows some deterioration and damage, but it also showed that the primary structure is in good repair. There are no significant structural cracks evident. The inspection of the space could only take note of visible items and further defects will become more evident once strip off works are completed.

It should be noted that this is a listed building and therefore it is the responsibility for all to involved that best conservation practices are applied to ensure the buildings future. It is a requirement that a 'Section 5' application is made to the Planning Department to seek clarification whether this scope of proposed works is subject to Planning Approval or not. A full and detailed record of the works should also be made to show evidence of careful and considered restoration of the building.

The roof covering and the primary structure is not completely original as the building was repaired/replaced, following a significant fire in the early 1980's. Additional steel structure was fitted to the original King Post timber roof structure to retain as much as was feasible of the original structure. Scope of the works should follow the principles of intervention adopted for the current works, with both careful selection of materials and the reuse of original materials where suitable.

- 1.02 The works are proposed to be limited to the removal of the existing finishes and the repair to main and secondary structure. It should be noted that currently the roof area is un-insulated, and it would be prudent to provide for a zone of insulation as part of the repair works.

Currently the roof space and the 3rd floor below are unoccupied. The 3rd floor is a storage area with access to the adjoining building and stair access to the all floors of the building all of which are occupied. There is evidence of structural alteration to the ceiling level of the 3rd floor area and as noted previously there are sections of the roof space flooring and the fire separation boarding missing. This will require rectification to ensure the fire integrity is maintained.

The roof area is accessed via a ladder from the existing staircase enclosure. This access is not in accordance with safety regulations and is a simple straight ladder with no safety hoops and or proper lighting. It is proposed to construct an accommodation staircase within the space to provide safe access and egress to the roof area. This staircase is proposed to be enclosed within a 1-hour lightweight enclosure to maintain the fire separation of the spaces and to discharge into the existing staircase providing access to all floors in the block.

1.03 Proposed extent of works

Item 1: Specialist scaffolding company to provide a proposal to erect significant scaffold platform to facilitate the proposed works and to ensure safety of the users of the Tyndall Campus. It is furthermore proposed to maintain the areas below the works as these are currently occupied and will remain so for the duration of the works.

Item 2: Existing slate finishes are to be carefully removed. Slates are to be stored and assessed to determine their suitability for reuse. Where possible the slates should be re-used and replacement slates are to be of the same gauge and thickness. Slates proposed to be stored in contractors current compound for reinstatement.

Item 3: Existing slating battens and secondary timbers, lead and flashings are to be removed and removed from site.

Item 4: All support timbers to be carefully inspected and assessed for structural integrity. Once approved for retention by StEng, all timbers to be treated and repaired as necessary with approved and certified anti-fungal treatment.

Item 5: All gutters and downpipes to be replaced with Cast aluminium 'restoration' rainwater goods to be to age accurate profiles. It is proposed that the rainwater goods are but a check calculation should be carried out to ensure that the capacity of the rainwater goods is sufficient to discharge into the existing locations.

Item 6: Existing Gable to the west elevation currently timber louvres to be de-constructed and new insulated wall type 1 constructed in the same location. New aluminium louvre to be fitted to insulated walls – size to be agreed.

Item 7: Existing Velux rooflights are to be removed and discarded as part of the upgrade works.

Item 8: There are large elements of de-commissioned plant which requires removal these items will be removed pre-works by a separate client appointed contractor. There are also a number of live services including chilled water pipework which will to be retained and must be maintained during the works. These items will be marked prior to commencement of works.

Item 9: An asbestos report is included with the pricing documentations which will require some specialist removal to licenced dump. OMSS have been appointed by UCC to oversee the asbestos removal.

Item 10: There are sections of missing floorboards and openings in the floor which will require replacement. Note that any services passing through the fire-resistant ceiling of 3rd floor will require additional specialist fire-stopping and/or collars.

Item 11: Mechanical and Electrical contractor to review the existing services including fire alarm an emergency lighting to ensure that the elements meet current regulations and is fit for purpose.

Item 12: Existing flat roof finish to the north west and south west to be stripped back and repairs carried out as ponding was evident during the inspection. New laid to falls bitumen membrane to be applied over the areas to form a watertight seal. While the area to the south west is accessible and would be suitable for reuse as a plant area the area to the northwest is smaller and it may be considered prudent to rebuild the pitched roof in this area and slate as the rest of the roof area – this item is to be considered as an Option and is dependent on outcome of discussions with Planning Department as part of the Part 5 Application.

Item 13: To the southern roof there is a chimney section with vents and flues. Client to advise on whether all or a percentage of these services are to be maintained and/or removed. Housing around same should be opened up to check on the structural stability of same. The addition of 2 or 3 sleeved openings in the proposed cap to be considered for possible future vents/chimneys. Enclosure to be re-clad in Zinc rainscreen on existing framing.

Item 14: Specialist contractor to be appointed to carry out a design for lightning protection to the building. The design should be incorporated into the roof covering as per previous project.

Item 15: There are areas of the wall plate and at window heads which will require stabilisation as evidence of spoiling was recorded during inspection. This will require further investigation once coverings have been removed.

1.04 Recommendations

Item 1: Due to the extent of works required and based on the scale of the roof space, the UCC/Tyndall may consider a phased development of the space. The accommodation is significant and with minimal degree of works, it could form a usable space. As part of the current proposals a new staircase is being provided and a small platform lift could also be constructed in the future.

With the careful placement of roof windows, natural daylight could be brought into the space, this will be discussed with Planning Department during the Part 5 Application to confirm acceptance.

First fix services could be routed into the space for extension. should be space be the area could be 'shelled and cored' allowing for a quick internal fitout at a later stage. As there will be scaffolding and construction staff on site this may be an advantageous time to prepare the area for future development.

Tony Gannon
2020.02.10

Rev.A	Updated Following Discussions with Client	TG	2020.02.10
Rev.B	Updated Following Discussions with Client	TG	2020.02.12
Rev C	Updated	TG	2020.02.25

William Walsh

From: Gintare Jureviciene
Sent: Tuesday 5 May 2020 09:52
To: William Walsh
Subject: FW: Payment for UCC/Tyndall Section 5 Declaration Fee (Scott Tallon Walker)

Hi William,

Remittance sent to CCC below.

Regards,

Gintare Jureviciene

Scott Tallon Walker Architects
Finance

Telephone: [REDACTED]
Email:

From: Gintare Jureviciene
Sent: Friday 1 May 2020 16:26
To: David Foley <david_foley@corkcity.ie>; ann_osullivan@corkcity.ie
Subject: Payment for UCC/Tyndall Section 5 Declaration Fee (Scott Tallon Walker)

Hi David / Ann,

This is a confirmation that €80 has been paid by EFT today in relation to:

UCC/Tyndall Section 5 Declaration Fee

If there are any issues, please contact me.

Regards,

Gintare Jureviciene

Scott Tallon Walker Architects
Finance

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Please consider the environment before printing this e-mail

From:

Sent:

To:

Subject:

Dear Sir,

I refer to your letter of 15/05/2012.

As you are aware,

the information provided to you by the relevant authorities is as follows:

Hi William,

I have been sent to CC by the

relevant

relevant

relevant

[Redacted]

The relevant

relevant

The relevant information is as follows:

relevant

The relevant information is as follows:

UCC, Fynab, Section 6, Division 6, 1

If there are any issues, please contact me

regards

Yours sincerely,

Scott Taiton Walker A-children

[Redacted]